

DECEMBER 2005



SUNRISE ASSISTED LIVING OF FULLERTON

# SPECIFIC PLAN

PREPARED FOR: CITY OF FULLERTON

*APPLICANT:*

**SUNRISE SENIOR LIVING, INC.**

1837 PECAN CIRCLE • CORONA, CA 92882

CONTACT: WAYNE SANT

TEL. (951) 549-8650

*PREPARED BY:*



**SHELDON GROUP**

901 DOVE STREET, SUITE 140 • NEWPORT BEACH, CA 92660

CONTACT: KAREN S. SULLY • TEL. (949) 777-9400

*IN CONJUNCTION WITH:*

- BOYLE ENGINEERING
- HILL PARTNERSHIP, INC.
- DKS ASSOCIATES
- RBF CONSULTING

**City Council Agenda  
December 6, 2005  
Item # 6**

# TABLE OF CONTENTS

<u>CHAPTER</u>	<u>PAGE</u>
Chapter 1.0: Executive Summary	1.1
Chapter 2.0 Introduction	
2.1 Purpose and Intent .....	2.1
2.2 Location and Setting.....	2.1
A. Existing and Surrounding Land Uses .....	2.1
B. Project Area Site.....	2.2
C. Existing Land Use Policy. ....	2.7
2.3 Organization of the Specific Plan .....	2.7
2.4 California Environmental Quality Act Compliance .....	2.8
2.5 Required Entitlements.....	2.8
2.6 Authority and Scope of the Specific Plan .....	2.10
Chapter 3.0 Planning Framework	
3.1 Public Outreach and Community Input.....	3.1
A. Sunrise Senior Living Community Outreach Plan .....	3.1
3.2 Specific Plan Policy Framework .....	3.2
A. Project Objectives.....	3.2



**Chapter 4.0 Development Plan**

4.1 Project Overview .....4.1

4.2 Land Use Summary .....4.2

    A. Land Use Policy.....4.2

    B. Project Land Use Attributes .....4.2

    C. Compatibility Analysis.....4.3

4.3 Site Planning and Design.....4.10

4.4 Circulation and Parking.....4.12

    A. Vehicular Circulation and Parking.....4.12

    B. Pedestrian Circulation .....4.16

    C. Multi-Use Recreational Trail .....4.17

4.5 Infrastructure.....4.18

    A. Conceptual Water Facilities.....4.18

    B. Conceptual Sewer Facilities .....4.18

    C. Conceptual Stormdrain/Hydrology Facilities.....4.19

4.6 Public Services and Utilities .....4.24

    A. Police and Fire Protection Services.....4.24

    B. Schools.....4.24

    C Parks and Recreation .....4.24

    D Solid Waste .....4.25

    E. Dry Utilities .....4.25



**Chapter 5.0 Design Guidelines**

5.1 Introduction .....5.1

5.2 Site Planning .....5.1

5.3 Architectural Design.....5.1

    A. Architectural Character .....5.1

    B. Orientation .....5.3

    C. Massing .....5.3

    D. Color and Materials .....5.7

    E. Screening/Mechanical Equipment.....5.8

5.4 Landscape Architecture Guidelines .....5.8

    A. Landscape Concept Plan .....5.8

    B. Development Edge and Buffer Treatments .....5.10

    C. Recommended Plant Materials .....5.10

    D. Entry Landscape Treatment and Monumentation .....5.13

    E. Signs .....5.13

    F. Streetscape.....5.13

    G. Lighting Design .....5.13

    H. Wall and Fencing Design .....5.14

**Chapter 6.0 Land Use and Development Regulations**

6.1. Purpose and Intent .....6.1

6.2 General Provisions .....6.1

    A. Applicability .....6.1

    B. Severability .....6.1

    C. Interpretation .....6.1

    D. Definitions .....6.2

    E. Technology/Energy Efficiency .....6.2



6.3 Land Use/ Establishment of Zoning Subdistrict.....6.2  
     A. Conditionally Permitted Uses .....6.2  
     B. Prohibited Uses .....6.2  
     C. Temporary Uses .....6.3  
 6.4 Development Standards.....6.3  
     A. General Site Development Standards .....6.3  
     B. Density.....6.3  
     C. Permitted Buildings Heights .....6.3  
     D. Floor Area Ratio/Lot Coverage .....6.4  
     E. Building Setbacks.....6.4  
     F. Dedication Requirements .....6.4  
 6.5 Landscaping and Open Space Requirements .....6.5  
     A. General.....6.5  
     B. Walls and Fences.....6.5  
     C. Open Space.....6.5  
 6.6 Parking, Access and Circulation.....6.5  
     A. Required Parking .....6.5  
     B. Vision Clearance Requirements.....6.6  
 6.7 Signage Standards and Regulations.....6.6  
     A. Definitions .....6.6  
     B. Design Standards.....6.6  
     C. Lighting Standards.....6.7  
     D. Prohibited Signs .....6.7

**Chapter 7.0 Implementation and Administration**

7.1 Applicability .....7.1  
 7.2 Relationship to Zoning.....7.1  
 7.3 General Plan Amendments .....7.1



7.4 Zoning Code/Map Amendments.....7.2

7.5 Administration and Enforcement .....7.2

7.6 Development Review Procedures/Site Design Review.....7.2

7.7 Specific Plan Amendment Procedures.....7.3

7.8 Project Construction Schedule/Phasing .....7.3

7.9 Financing and Maintenance of Improvements.....7.3

7.10 Specific Plan IS/MND and Mitigation Monitoring .....7.4

7.11 Severability .....7.4

**Appendices**

**Appendix A - General Plan Consistency Analysis**

**Appendix B - Conceptual Floor Plans**

**List of Exhibits**

**Chapter 2.0 - Introduction**

Exhibit 2.1 Regional Location Map .....2.3

Exhibit 2.2 Local Vicinity Map .....2.4

Exhibit 2.3 Project Aerial .....2.5

Exhibit 2.4 Existing Site Conditions .....2.6

**Chapter 4.0 - Development Plan**

Exhibit 4.1 Existing General Plan Land Use .....4.5



Exhibit 4.2	Proposed General Plan Land Use .....	4.6
Exhibit 4.3	Existing Zoning .....	4.7
Exhibit 4.4	Proposed Zoning .....	4.8
Exhibit 4.5	Conceptual Site Plan .....	4.11
Exhibit 4.6	Circulation, Parking and Access Plan .....	4.14
Exhibit 4.7	Conceptual Cross Sections .....	4.15
Exhibit 4.8	Conceptual Water Facilities Improvements Plan .....	4.21
Exhibit 4.9	Conceptual Sewer Facilities Improvements Plan .....	4.22
Exhibit 4.10	Conceptual Stormdrain/Hydrology Improvements Plan .....	4.23

**Chapter 5.0 - Design Guidelines**

Exhibit 5.1	Building Elevations - North and South .....	5.5
Exhibit 5.2	Building Elevations - East and West.....	5.6
Exhibit 5.3	Conceptual Landscape Plan.....	5.11
Exhibit 5.4	Recommended Plant List .....	5.12
Exhibit 5.5	Conceptual Sign Plan.....	5.15
Exhibit 5.6	Project Monumentation .....	5.16

**List of Tables**

Table 1	Land Use Summary .....	4.9
Table 2	Suggested Materials .....	5.7
Table 3	Allowable Lot Coverage/Floor Area Ratio Requirements .....	6.4
Table 4	Building Setbacks .....	6.4
Table 5	Financing and Maintenance .....	7.3



# CHAPTER 2.0

SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN

INTRODUCTION





## 2.0 INTRODUCTION

### 2.1 Purpose and Intent

The purpose of the Sunrise Assisted Living of Fullerton Specific Plan is to serve as a planning and regulatory tool for the orderly development of the 1.76-gross acre site (1.56-net acres after dedications) for assisted living use. This Specific Plan establishes the overall land use concept and defines the development regulations, requirements, and design guidelines for the development of the assisted living use.

The Specific Plan is consistent with the City of Fullerton General Plan, as well as applicable provisions of the City of Fullerton Zoning Code. Refer to Section 2.6 for the authority and scope of the Specific Plan.

### 2.2 Location and Setting

Sunrise Assisted Living of Fullerton is located in the City of Fullerton, in north Orange County, California. Fullerton is located approximately 22 miles southeast of downtown Los Angeles and 98 miles north of San Diego, in the center of northern Orange County. The City occupies approximately 22.3 square miles of land with an estimated population of 134,187 in 2004 (California State Department of Finance).

The project site is located in northwestern Fullerton, bounded by existing single-family residential homes to the northeast, east and south; and an existing church to the west. Refer to *Exhibit 2.1, Regional Location Map* and *Exhibit 2.2, Local Vicinity Map*.

#### A. Existing and Surrounding Land Uses

The site is presently vacant and is currently being used for the farming of agriculture. A temporary produce retail stand is also located on-site for the primary sale of strawberries with other produce available during the year.

The general character of the area around the property is developed with existing single-family homes on 20,000 square foot minimum sized lots to the east. The existing homes located above the site are mainly single-story ranch style homes with exterior stucco walls and shallow pitched clay tile or shingle covered roofs.

To the south and southeast, there are single-family residences located above the project site; most of these homes have backyards that slope downward towards the project site.



The northeast boundary of the site is defined by an eight (8) foot tall concrete block masonry wall, which is part of a new single-family residential development located adjacent to project site. This development includes five (5) two-story single family homes that front Yuma Way, which runs parallel to Euclid Street.

Laguna Lake Park is located approximately one quarter mile to the north of the site. A contemporary style church campus (Church of Jesus Christ of Latter-day Saints: Fullerton Stake Center) is located directly west of the site. Further north of the site on the west side of Euclid Street is another Church (Sunny Hills Church of Christ) built in traditional style architecture.

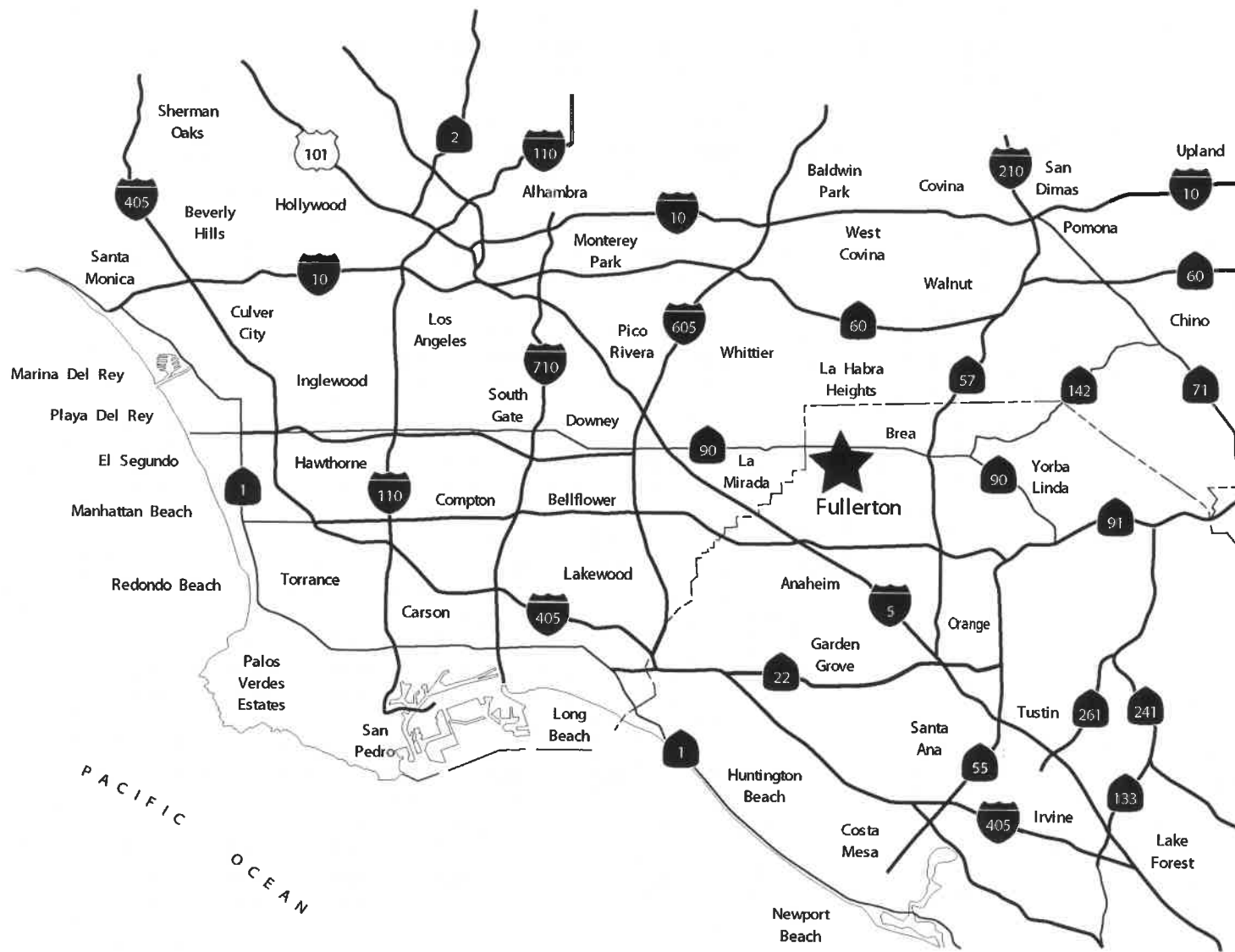
#### B. Project Area Site

The property is located on the east side of North Euclid Street approximately one quarter of a mile north of Rosecrans Avenue. The parcel is an elongated triangular-shaped parcel with linear street frontage along Euclid Street. The site is unimproved and essentially flat. Currently, it is used to farm agriculture (strawberries and other produce); there is a temporary wooden sales stand on the central portion of the site. A temporary gravel covered dirt

driveway and parking area currently serves the produce stand.

An open stream channel runs near the southeastern boundary of the site and continues with a south-westerly fall to a culvert structure crossing underneath North Euclid Street and tying into the existing storm drain system along Euclid Street. Refer to *Exhibit 2.3, Project Aerial*, and *Exhibit 2.4, Existing Site Conditions*.







NOT TO SCALE

10-104107.001



SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN

### Local Vicinity Map

EXHIBIT 2.2





View South from Euclid Street



View East from Euclid Street



View North from Euclid Street



View West from Project Site



**C. Existing Land Use Policy**

The existing General Plan land use designation for the project area is Low Density Residential (LDR); this residential category permits neighborhoods of single-family lots and planned residential developments.

The existing zoning for the project area is R-1-20,000. R-1 (single-family residential) is designed for neighborhoods of single-family type residences on individual lots.

Section 4.2, Land Use Summary, of this Specific Plan document further details the existing and proposed land use policy.

**2.3 Organization of the Specific Plan**

The Sunrise Assisted Living of Fullerton Specific Plan is organized in the following chapters:

1.0 **Executive Summary** - The Executive Summary provides a broad overview of the Specific Plan and a brief background regarding the impetus to the development of the Specific Plan program.

2.0 **Introduction** - This chapter includes the location and setting of the project, objectives, and the required entitlements for the project.

3.0 **Planning Framework** - This Chapter provides the policy foundation for the Specific Plan document. The Specific Plan planning framework describes public outreach activities and Specific Plan Goals and Objectives related to the development and implementation of the Sunrise Assisted Living of Fullerton Specific Plan.

4.0 **Development Plan** - This Chapter provides the specific land use, circulation, community design/streetscape and infrastructure improvement plans related to the project's development concept.

5.0 **Design Guidelines** - This chapter sets forth the design programs and requirements for the project, identifying the architectural theme as well as a landscape program for the site.

6.0 **Land Use And Development Regulations** - This chapter sets forth the land use designations and regulations for the Specific Plan area.



- 7.0 **Implementation and Administration** – This chapter provides requirements for development review and administration of the Specific Plan and an overall program of infrastructure financing for the necessary on- and off-site public facilities.
- A-1 **Appendix A** - This appendix provides an analysis of General Plan consistency.
- B-1 **Appendix B** - This appendix provides an exhibit of the Sunrise Assisted Living of Fullerton *Conceptual Floor Plans*.

## 2.4 California Environmental Quality Act Compliance

The Sunrise Assisted Living of Fullerton Specific Plan has been prepared in compliance with the requirements of the California Environmental Quality Act (CEQA). Pursuant to State and Local CEQA Guidelines, the City of Fullerton prepared an Initial Study/Environmental Checklist. The City of Fullerton determined that the Specific Plan could result in additional environmental impacts, and therefore, required additional environmental review. As a supplement to this Specific Plan, an Initial Study/Mitigated Negative Declaration (IS/MND) has been prepared that responds to the potential impacts identified in the Initial Study.

The Initial Study/Mitigated Negative Declaration includes an introduction, project description, description of existing environmental conditions, assessment of impacts and mitigation measures as directed by the City of Fullerton, in accordance with CEQA guidelines.

## 2.5 Required Entitlements

The following entitlement actions will be required as part of the implementation of the proposed project:

### Mitigated Negative Declaration:

A Mitigated Negative Declaration (MND) pursuant to CEQA that analyzes potential environmental impacts of the project and includes measures to mitigate impacts to below a level of significance. The MND will be considered by the City Council prior to adoption of the Specific Plan. A Mitigation Monitoring and Reporting Program will be required to ensure that mitigation measures are implemented.

### General Plan Amendment:

The existing General Plan land use designation Low Density Residential (LDR) will be changed to Medium Density Residential (MDR) to accommodate the density (du/acre) of the project.





Additionally, *Table LU-4, titled Corresponding General Plan and Zoning Designations*, in the Land Use Element of the General Plan will be modified/corrected to reflect the addition of "Specific Plan District (SPD)" as allowable zoning to the list of zoning designations consistent with the Medium Density Residential General Plan land use designation. Refer to *Exhibits 4.1 and 4.2, Existing General Plan Land Use; and Proposed General Plan Land Use* in Chapter 4.0 of this Specific Plan. Chapter 4.2 of this Specific Plan further articulates the land use policy, project attributes and project compatibility. A land use summary table details the specific project data (*Table 1, Land Use Summary*).

**Zone Change/Specific Plan District:**

The existing R-1-20,000 zoning classification will be changed to a Specific Plan District (SPD). The Sunrise Assisted Living of Fullerton Specific Plan sets the standards and criteria by which development will proceed, and refines the policies contained in the City of Fullerton General Plan. The Specific Plan includes detailed regulations, standards and guidelines necessary for the implementation of the General Plan, and also includes new zoning standards for the property, comprised of site-specific Permitted Uses and

Development Standards. The Specific Plan District (SPD) allows for provision of the assisted living facility and establishes the type, location, intensity, and character of development to take place while allowing for creative and imaginative design concepts for the assisted living community. Refer to *Exhibits 4.3 and 4.4, Existing Zoning and Proposed Zoning*. Where conflicts exist between the Specific Plan and the Zoning Code, the Specific Plan shall take precedence.

**Major Site Plan Review:**

A Major Site Plan Review, in accordance with Title 15 of the Fullerton Municipal Code, is required for any new use of vacant land and for new construction in a residential zone classification other than single and two-family development. The Major Site Plan Review provides for the review of those development qualities which are not subject to precise statement in the regulations of each zone, in order to assure that yards, open space, structures, parking, loading facilities, landscaping, streets and similar uses and development of land within each zone will be located in accordance with an approved plan providing for compatible developments within the zone in which the property is situated, as well as a compatible relationship with developments in



adjoining zones (FMC Section 15.47.010). Approval of a Major Site Plan shall be required pursuant to the procedures described in Chapter 7.0 of this Specific Plan. Approval of a Conceptual Grading Plan shall be required in conjunction with the Major Site Plan approval.

**Conditional Use Permit:**

A Conditional Use Permit (CUP), in accordance with Title 15 of the Fullerton Municipal Code, is required for the project to assure that the degree of compatibility shall be maintained with respect to the particular use on the particular site and that consideration is made with respect to other existing and potential uses within the general area. Additionally, the CUP recognizes and compensates for variations and degree of technological advancements in processes and equipment as related to the factors of noise, smoke, dust, fumes vibration, odors and hazards, for example (FMC Section 15.70.010 C). Typically, certain conditions are applied to the use to regulate the operation.

In order to construct the project, appropriate permits must be obtained from the City, such as grading and building permits, etc. through the City's Building and Safety Department.

## 2.6 Authority and Scope of the Specific Plan

The objectives of public and private interests can be best realized through the Specific Plan process, which provides a key linkage between the General Plan and more specific design and implementation measures. It serves as a means of managing the use of land, and provides a comprehensive approach to infrastructure planning. As an implementing tool, a Specific Plan provides a concrete commitment to the objectives of the General Plan.

California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457 (Specific Plans) grants authority to cities to adopt Specific Plans for purposes of implementing the goals and policies of the General Plan. The Planning Commission must hold at least one public hearing before the planning agency can recommend the adoption of a Specific Plan.

As expressed in California law, Specific Plans may be adopted either by ordinance or by resolution. This allows jurisdictions to choose whether their specific plans will be policy driven (adopted by resolution) or regulatory in nature (adopted by ordinance). This Specific Plan is a regulatory document, adopted by ordinance.

As set forth in the Government Code, Section 65451, a Specific Plan must contain the following information:



- ❑ A description of the general distribution, location, and extent of the uses of land within the area covered by the plan.
- ❑ The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the area covered by the Specific Plan and needed to support the land uses described in the plan.
- ❑ Standards and criteria by which development will proceed and standards for the conservation, development, and utilization of natural resources, where applicable.
- ❑ A program of implementation measures, including regulations, programs, public works projects and financing measures necessary to carry out the above information.

This Specific Plan is regulatory in nature, and serves as the adopted zoning for the property. Development plans, site plans and any subsequent development activity must be consistent with both this Specific Plan and the City's General Plan. The scope of the Specific Plan is governed by

State law, and includes land use, infrastructure, standards, implementation measures, and a statement of the relationship to the General Plan.

All regulations, conditions, and programs contained herein shall be deemed separate, distinct, and independent provisions of the Sunrise Assisted Living of Fullerton Specific Plan. In the event that any such provision is held invalid or unconstitutional by a court of competent jurisdiction, the validity of all remaining provisions of this Specific Plan shall not be affected.





# CHAPTER 3.0

SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN

PLANNING FRAMEWORK



## 3.0 Planning Framework

### 3.1 Public Outreach and Community Input

A series of public meetings and community outreach activities have been an integral part of developing the Sunrise Assisted Living of Fullerton Specific Plan. A number of public workshops, community meetings, stakeholder and informal meetings occurred during 2004 and early 2005. Local citizen groups, neighborhood groups and associations, local businesses, the Fullerton Chamber of Commerce and other stakeholders have been consulted and contacted regarding the Sunrise Assisted Living of Fullerton project. The purpose of these outreach activities was to educate and solicit community and stakeholder input. In order to facilitate the development review process and address issues of mutual concern, the goal of the Specific Plan is to ensure the development project benefits the community and is responsive to community concerns.

#### A. Sunrise Senior Living Community Outreach Plan

The following is a summary of the Sunrise Assisted Living of Fullerton Specific Plan's community outreach efforts:

#### *Sunrise Assisted Living Sponsored Community Meeting*

Representatives from Sunrise Senior Living have met with property owners and neighbors located within a 1000 foot radius of the site. An informational meeting took place in February 2005.

#### *Door-to-Door*

Sunrise Senior Living representatives have walked various neighborhoods surrounding the project site to discuss the project one-on-one and to answer questions and concerns of local homeowners (March 2005 through June 2005).

#### *City Sponsored Community Meeting*

A City-sponsored community meeting was held in March 2005 with interest groups and property owners located within a 1,000 foot radius of the site.

#### *Merchant Outreach*

Sunrise Senior Living representatives met with local business owners through the Chamber of Commerce meetings and mixers (August 2004 through March 2005), and have utilized direct



mail to disseminate information about the project (on-going).

#### Fullerton Market

Sunrise Senior Living representatives rented a booth at the Fullerton Market (August 2005) to ensure that a variety of residents in Fullerton had the opportunity to ask questions and receive information about the project.

### 3.2 Specific Plan Policy Framework

The Specific Plan Policy Framework provides the primary policy guidance for the Specific Plan. All development occurring within the Sunrise Assisted Living of Fullerton Specific Plan shall be consistent with and take guidance from the objectives and goals of this plan.

#### A. Project Objectives

The proposed project will provide an assisted living facility for the elderly that is aimed at being sensitive and compatible with the existing surrounding residential neighborhoods as well as providing a high quality residential facility for the elderly.

The objectives for the Sunrise Assisted Living of Fullerton project are as follows. Objectives are grouped into categories that correspond with Elements of the City's General Plan. Goals and policies from General Plan elements are cited with the objectives:

#### Land Use Objectives

- To adopt a Specific Plan that meets the requirements of State law and implements the General Plan policies to ensure comprehensive development consistent with the surrounding area;
- To establish zoning standards and implementation mechanisms applicable solely to the Sunrise Assisted Living of Fullerton Project consistent with the Fullerton Municipal Code; and
- To design and develop an attractive facility that is compatible with the existing neighborhood and environment.

*(General Plan Land Use Element Goals and Policies: Goal LU-1, Policy LU-1.1, Policy LU-1.2, Goal LU-2, Policy LU-2.1, Policy LU-2.3, Goal LU-4, and Policy LU-4.1).*



Circulation Objectives

- To provide an on-site circulation system that efficiently conveys traffic through the project area; provides adequate parking for residents, visitors and staff members;
- To provide separation of vehicular and pedestrian activities;
- To provide circulation improvements to Euclid Street (e.g., re-striping of median, addition of public sidewalk and street trees) in order to accommodate project related trips and encourage and enhance project and neighborhood pedestrian connections; and
- To provide a new northbound OCTA bus stop north of the primary project entry to serve the facility and the surrounding neighborhood.

*(General Plan Circulation Element Goals and Policies: Goal C-1, Policy C-1.1, Policy C-1.4, Goal C-2, Policy C-2.3, Goal C-3, and Goal C-5).*

Housing Objectives

- To design and develop an assisted living facility to serve a community housing need in the City of Fullerton;
- To provide much needed additional senior housing in the City of Fullerton and local area; and

- To create an environment where residents can live, conduct daily activities and relax in a pleasant home-like environment.

*(General Plan Housing Element Goals and Policies: Goal H-1, Policy H-1.1, Goal H-3, Policy H-3.1).*

Community Health and Safety Objectives

- To design a project in a manner that provides for adequate public safety with regard to access, traffic and circulation, and parking;
- To control drainage from the hillside and off-site residential uses that will connect to the City storm drain system;
- To control and improve the on and off-site drainage by constructing adequate drainage facilities that will tie into the public infrastructure; and
- To mitigate any potential environmental impacts in accordance with the California Environmental Quality Act (CEQA).
- To design a project in a manner that is consistent with the City's noise requirements.



*(General Plan Community Health and Safety Element Goals and Policies: Goal CHS-1, Policy CHS -1.3, Goal CHS-4, Goal CHS-5, Policy CHS-5.2, and Goal CHS-6).*

*Resource Management Objectives*

- ❑ To provide area-wide trail connectivity to other local and regional trails by constructing and improving a 12-foot wide multi-use recreational trail along the project frontage;
- ❑ To provide adequate open space by the provision of setbacks;
- ❑ To landscape the project area in accordance with City landscape guidelines while respecting Euclid Street as a Scenic Corridor;
- ❑ To provide adequate setbacks that will buffer the project from adjacent residential uses; and
- ❑ To incorporate appropriate design and architectural treatments to reduce potential visual impacts to surrounding development.

*(General Plan Resource Management Element Goals and Policies: Goal RM-2, Policy RM-2.1, Policy RM-2.3, Goal RM-3, and Policy RM-3.1; and Circulation Element Goals and Policies: Goal C-1, Policy C-1.4, Goal C-2, and Policy C-2.3).*







# CHAPTER 4.0

SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN

DEVELOPMENT PLAN



## 4.0 DEVELOPMENT PLAN

### 4.1 Project Overview

The Sunrise Assisted Living of Fullerton Specific Plan provides for the development of an assisted living facility for the elderly, including those with Alzheimer's disease. The project is situated on 1.76 gross acres of vacant farm land (1.56 net acres after dedications) located on the east side of Euclid Street, south of Laguna Road and north of Rosecrans Avenue.

Development within the Specific Plan includes a 68 unit assisted living facility within a two-story wood-framed building (45,896 s.f.) with 33 units on the first floor and 35 units on the second floor. The proposed facility is 30 feet in height from natural grade, consistent with the prevailing heights of existing two-story residences in the surrounding neighborhood (refer to *Table 1, Land Use Summary* for specific project data). The architectural design of the project consists of a Californian/Craftsman-vernacular style with shingle roofing, vertical wood siding, stucco, stone veneer accents, wood trusses, gables and recessed windows.

The project site is an elongated triangular-shaped parcel with a linear street frontage along Euclid Street. The building's location, orientation and design integrate with

the size and shape of the parcel. The site plan provides generous landscaping throughout the site to include usable amenities such as a rose garden, boulder garden and meandering walkways for residents. The rear garden will be secured by wrought-iron fencing with lockable gates. Main ingress and egress will be provided along Euclid Street at the northern portion of the site. There is one (1) at-grade parking space for use by the Sunrise Van/Shuttle and two (2) at grade disabled/accessible spaces. Thirty-four (34) of the total thirty-seven (37) on-site parking spaces are located in the subterranean parking structure. A drop-off area for residents is located on the right hand side of the entry drive. A trash enclosure and transformer pad are located to the left of the main drive entry near the at-grade parking spaces.

The project's residential facilities are comprised of a combination of one-bedroom units and two-bedroom units on each floor consisting of "Single", "Denver" and "Double" units. The Single Unit is a private room or suite for one person. The Denver Unit is a semi-private room for either one or two persons with a majority of the units for one occupant. The Double Unit is considered semi-private for double occupancy (two persons). Conceptual floor plans of the resident units are provided in Appendix B.



The project will include water, sewer, drainage, curb and gutter and sidewalk improvements along with the installation of street trees, a multi-use recreational trail, a northbound bus stop, and other project amenities.

## 4.2 Land Use Summary

### A. Land Use Policy

As previously mentioned (Chapter 2.0, Introduction, Section 2.2 C), a General Plan Amendment and Zone Change will occur to accommodate and effectuate the Sunrise Assisted Living of Fullerton Specific Plan. The existing General Plan land use designation of Low Density Residential (LDR) will be changed to Medium Density Residential (MDR) to accommodate the density (du/acre) of the project.

Additionally, *Table LU-4, titled Corresponding General Plan and Zoning Designations*, in the Land Use Element of the General Plan will be modified/corrected to reflect the addition of "Specific Plan District (SPD)" as allowable zoning to the list of zoning designations consistent with the Medium Density Residential land use designation. Refer to *Exhibits 4.1 and 4.2, Existing General Plan Land Use and Proposed General Plan Land Use*.

Sunrise Assisted Living of Fullerton Specific Plan will be adopted as the zoning for the property,

modifying the R-1-20 zoning classification to Specific Plan District (SPD). Upon adoption as the zoning for the property, the Sunrise Assisted Living of Fullerton Specific Plan sets the standards and criteria by which development will proceed, and refines the policies contained in the City of Fullerton General Plan. The Specific Plan includes detailed regulations, standards and guidelines necessary for the implementation of the General Plan, and also includes new zoning standards for the property, comprised of site-specific Permitted Uses and Development Standards. The Specific Plan District (SPD) allows for provision of the assisted living facility and establishes the type, location, intensity, and character of development to take place while allowing for creative and imaginative design concepts for the assisted living community. Refer to *Exhibits 4.3 and 4.4, Existing Zoning and Proposed Zoning*.

### B. Project Land Use Attributes

Sunrise Assisted Living of Fullerton proposes the following elements:

- Removal of the existing agricultural retail building/stand;



- ❑ Improvement of the site and construction of an assisted living facility for the elderly;
- ❑ Provision of a one level subterranean parking garage;
- ❑ Re-striping of Euclid Street to accommodate a right turn pocket at the site entry on the north bound side of Euclid Street and a two-way left turn lane southbound at the project entry in accordance with City approved signing and striping plan;
- ❑ Provision for a ten (10) foot wide public right of way dedication along the property frontage on Euclid Street;
- ❑ Construct a public sidewalk along the project frontage on Euclid Street;
- ❑ Addition of new northbound OCTA bus stop just to the north of the project entry for residents and the surrounding neighborhood;
- ❑ Improvement of landscaping along Euclid Street in accordance with scenic corridor guidelines;
- ❑ Addition and improvement of a twelve (12) foot multi-use recreational trail to provide area-wide trail connectivity to other local and regional trails;

- ❑ Improvement of the site and project grounds with a fifteen (15) foot landscaping setback; and
- ❑ Improvement to the site drainage in accordance with City approved hydrologic and hydraulic calculations.

### C. Compatibility Analysis

The Sunrise Assisted Living of Fullerton project site is designed as a medium density development. The land use designations and development standards have been modified to accommodate the design of the project and its intended use. Policy modifications for the site include changing the land use from low density residential to medium density residential. Characteristics of the site and proposed use provide justification for modified land use policy based on the following factors:

#### Transitional Use

The location of the project along the Euclid Street corridor is located within an area experiencing a transition in land use. Other nearby uses that are transitional in nature along Euclid Street includes a shopping center, religious uses and a City park. These uses provide site access directly from Euclid



Street, and do not provide secondary access or through-traffic into adjacent residential development. Single-family developments in the area are accessible from local streets and back up to the project site.

#### Residential Density

The assisted living facility is considered a residential care facility for the elderly. The 68 resident units are equivalent to approximately 42.5 residential dwelling units based on the zoning calculation for unit equivalency and the definition of a residential care facility for the elderly. The units have no cooking facilities and therefore do not function as a typical apartment unit. In addition, approximately 40% of the building is dedicated to interior common areas such as hallways, dining rooms, hair salon, TV room, kitchen and bistro. Refer to *Table 1, Land Use Summary* for density calculations.

#### Trip Generation

The assisted living facility has a less than significant amount of trip generation due to the nature of the use. Based on the project's traffic study, a total of 137 average daily trips, ten (10) AM peak hour trips and fourteen (14) PM peak hour trips are estimated

for a 68-unit project. Euclid Street carries an estimated 30,000 vehicle trips per day.

#### Parking Demand

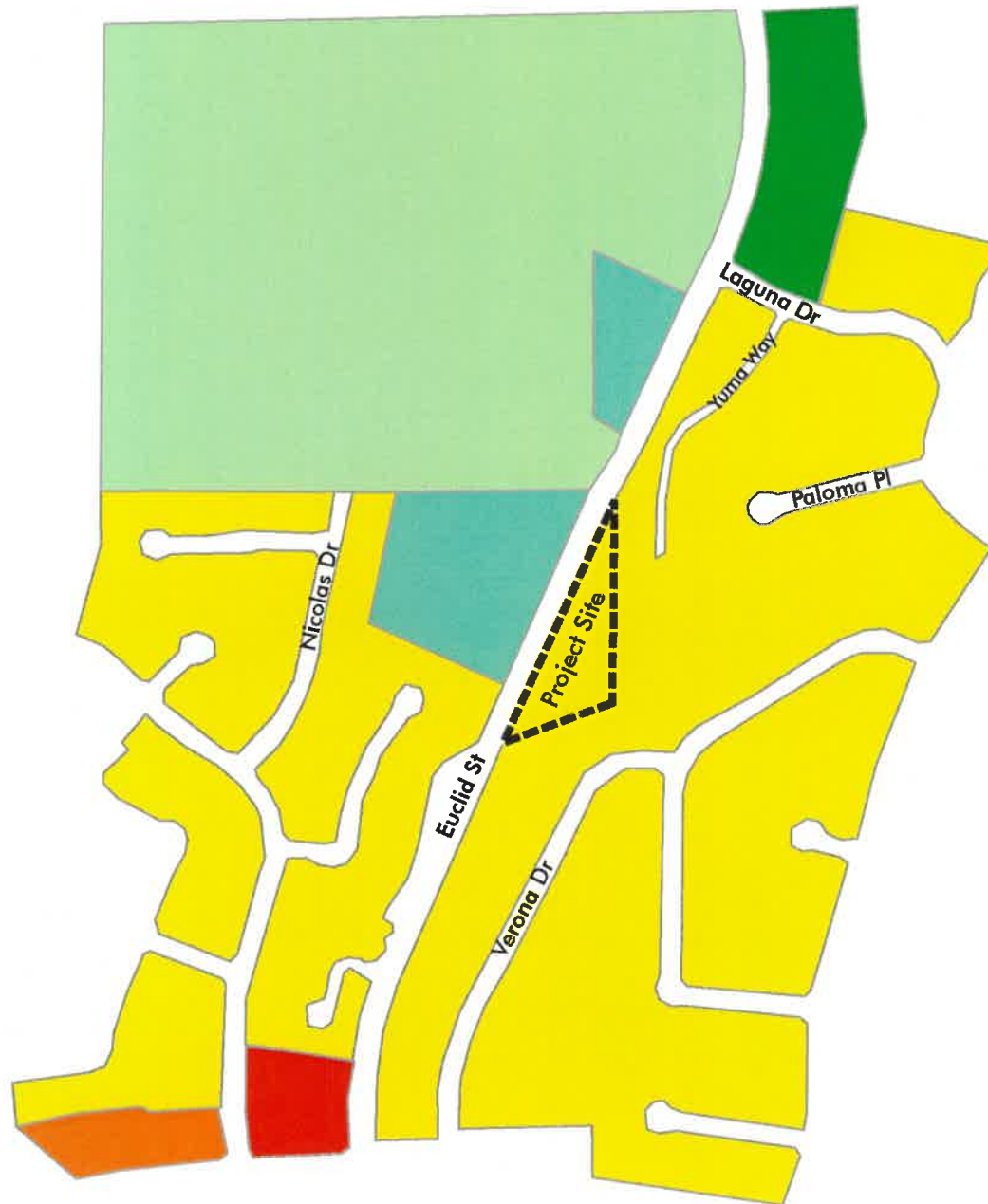
The parking demand for an assisted living facility requires only .5 spaces per unit because most residents do not drive. (Refer to FMC and Specific Plan Traffic Study.)

#### Access







The assisted living facility provides for one primary access along Euclid Street. Access to the assisted living facility was contemplated via Yuma Way but was rejected in response to potential traffic impacts to the existing residential neighborhood.

Due to the nature of the use, its location in the community and its operational characteristics, the new land use designations and development standards will provide the necessary policy modifications to accommodate this unique development so that it is compatible with adjacent land uses.

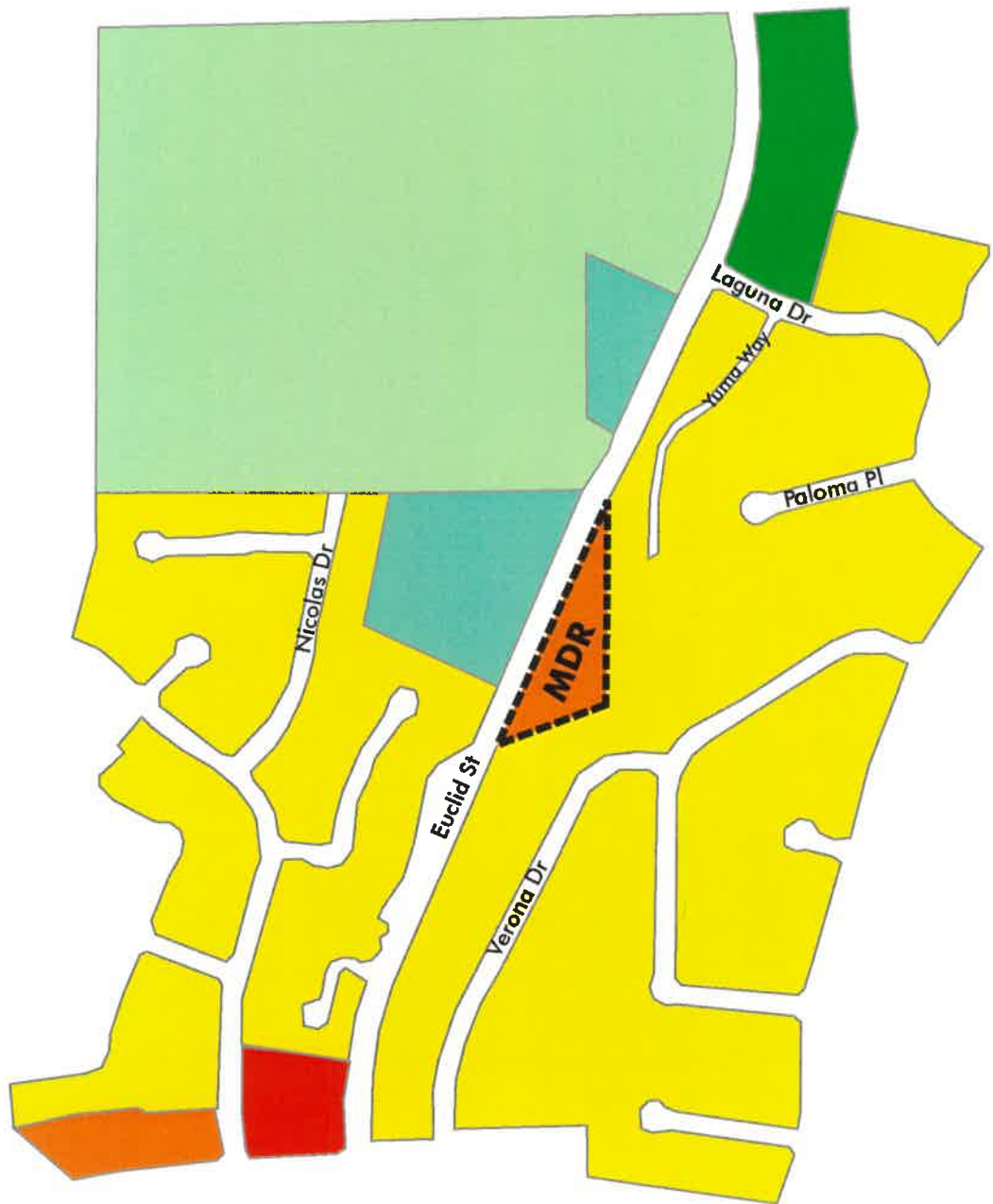




**LEGEND**

-  Low Density Residential
-  Medium Density Residential
-  Commercial
-  Religious Uses
-  Park and Recreation
-  Greenbelt Concept





- LEGEND**
- MDR - Medium Density Residential
  - Low Density Residential
  - Commercial
  - Religious Uses
  - Park and Recreation
  - Greenbelt Concept





**LEGEND**

- R-1 One-Family Residential
- PRD Planned Residential Development
- C-1 Limited Commercial
- C-2 General Commercial
- O-G Oil Gas
- P-L Public Land

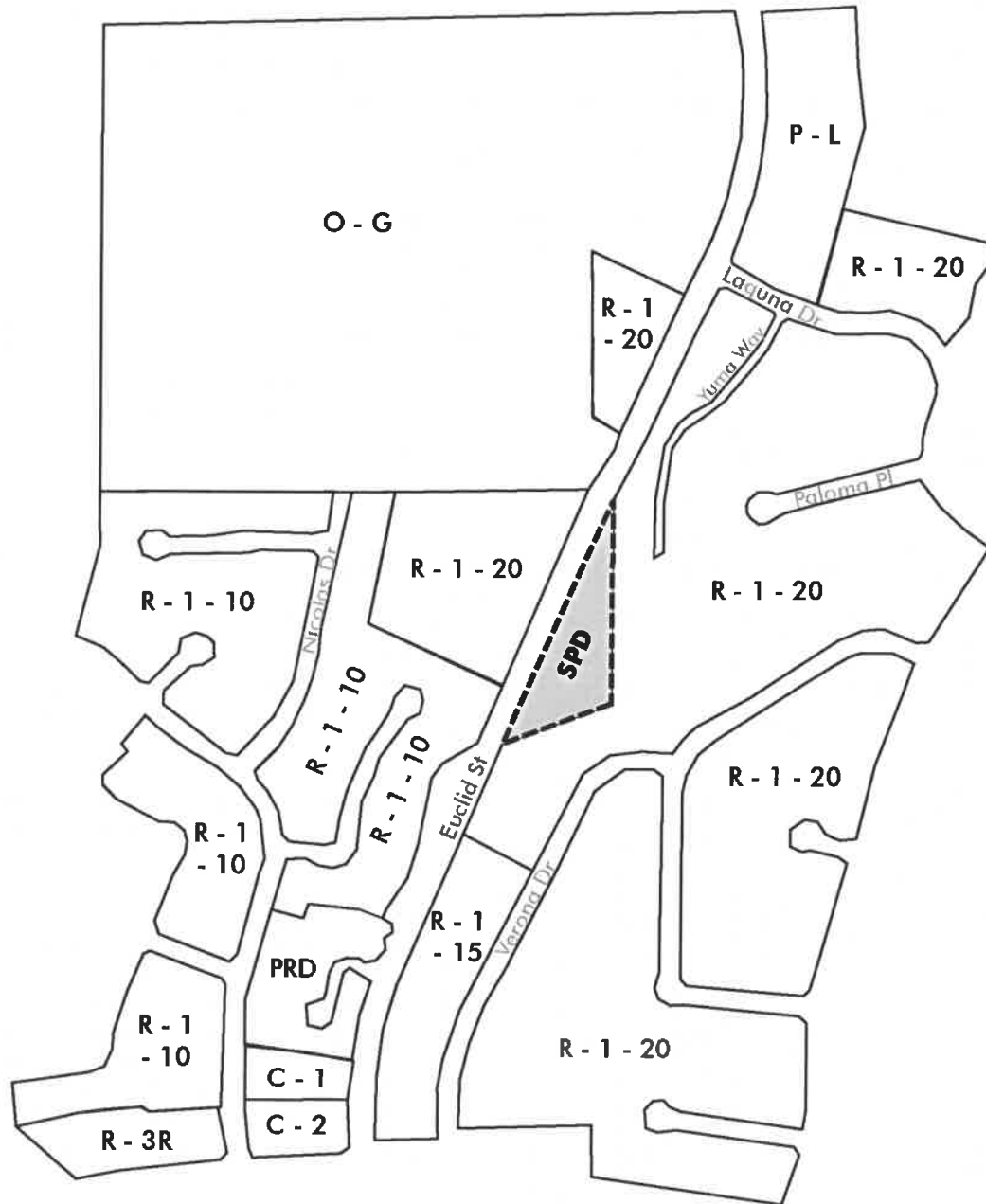


**SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN**  
**Existing Zoning**



 NOT TO SCALE  
 10-104107.001





**LEGEND**

- R-1 One-Family Residential
- PRD Planned Residential Development
- C-1 Limited Commercial
- C-2 General Commercial
- O-G Oil Gas
- P-L Public Land
- SPD Specific Plan District



The Sunrise Assisted Living Facility project data is summarized in *Table 1, Land Use Summary*.

**TABLE 1 - Land Use Summary**

PROJECT CATEGORY	PROJECT DATA	SPECIFIC PLAN STANDARD
<b>SITE AREA (GROSS):</b> <sup>1</sup>	76,666 SF (1.76 ACRES)	N/A
<b>SITE AREA (NET):</b> <sup>2</sup>	67,910 SF (1.559 ACRES)	
<b>LOT COVERAGE</b> <sup>3</sup> (BUILDING FOOTPRINT + GROSS SITE AREA):	23,390 SF/30.5%	NOT TO EXCEED 10%
<b>BUILDING AREA:</b>	45,896 SF	45,896 SF (PER PROJECT PLANS)
FIRST FLOOR: 23,390 SF		
SECOND FLOOR: 22,506 SF		
<b>GARAGE AREA:</b>	17,778 SF	17,778 SF (PER PROJECT PLAN)
<b>FLOOR AREA RATION (FAR):</b> (BUILDING AREA + NET SITE AREA):	59.9%	NOT TO EXCEED 70%
<b>DENSITY (DU/GROSS ACRE):</b> <sup>4</sup>	24.1 DU/ACRE	GENERAL PLAN 28.0 DU/ACRE
<b>BUILDING HEIGHT FROM NATURAL GRADE:</b>	29' 11 3/16"	NOT TO EXCEED 30' 0"
<b>PARKING:</b>	37 SPACES PROVIDED	0.5 SPACES PER UNIT (34 SPACES REQUIRED)
ON GRADE VAN SPACE: 1		
ON GRADE ACCESSIBLE SPACES: 2		
SUBTERRANEAN GARAGE SPACES: 34		
<b>USEABLE OUTDOOR OPEN SPACE:</b>	28,382 SF/41.7 %	MINIMUM ALLOWABLE 25% OF NET SITE AREA
SECURED GARDEN 4,505 SF		
ROSE GARDEN AREA 1,070 SF		
OPEN GARDEN SPACE 10,575 SF		
LANDSCAPE SETBACK AREA 9,330 SF		
SECOND FLOOR BALCONY AREA 1,170 SF		
PORCH 1,732 SF		
<b>USEABLE INDOOR OPEN SPACE (E.G., DINING ROOM, LIVING ROOM, BISTRO, ETC.):</b>	6,667 SF/ 10 %	MINIMUM ALLOWABLE 10% OF BUILDING AREA
FIRST FLOOR 3,182 SF		
SECOND FLOOR 3,485 SF		
<b>TOTAL PERMITTED OPEN SPACE:</b> <sup>5</sup>	25,480 SF/ 37.5%	SEE USEABLE OUTDOOR AND INDOOR OPEN SPACE STANDARDS ABOVE

**TABLE 1 - Land Use Summary (cont'd)**

UNIT DISTRIBUTION	DENSITY EQUIVALENCY CALCULATIONS
<b>RESIDENT UNITS:</b>	<b>68 RESIDENT UNITS, INCLUDING 19 ALZHEIMER UNITS:</b> <sup>6</sup>
FIRST FLOOR:	1 BED IS EQUIVALENT TO ½ RESIDENTIAL UNIT
SINGLE (PRIVATE) 19	
DENVER (SEMI-PRIVATE) 9	
DOUBLE (SEMI-PRIVATE) 5	
	33
	(51) 1 BED UNITS = 25.5 RESIDENTIAL UNITS
SECOND FLOOR:	(17) 2 BED UNITS = 17 RESIDENTIAL UNITS
SINGLE (PRIVATE) 19	
DENVER (SEMI-PRIVATE) 8	
DOUBLE (SEMI-PRIVATE) 8	
	35
	68 RESIDENT UNITS IS EQUIVALENT TO 42.5 RESIDENTIAL UNITS
	<b>TOTAL RESIDENTS = 85 MAXIMUM</b>

1. Gross area determination (excludes 10' right-of-way dedication).
2. Net area determination (excludes 10' right-of-way and 12' multi-use recreational trail dedications).
3. Lot coverage is Building Footprint divided by Gross Site Area. For purposes of calculating lot coverage, parking turn around, garage ramp, at grade parking spaces and emergency fire lane are not included.
4. Calculated using density equivalency factor of 1 bed equals ½ of a residential unit.
5. Total permitted open space calculation (net site area) does not include 10' right-of-way and 12' multi-use recreation trail dedications. Also excludes second floor balcony area and porch.
6. For purposes of calculating equivalency, it is estimated that 50% of Denver units and 70% of double units will have double occupancy.



### 4.3 Site Planning and Design

The Site Plan for the Sunrise Assisted Living of Fullerton Specific Plan provides for the development of approximately 45,896 square feet of an assisted living facility. The Site Plan responds to the goals of the General Plan, environmental considerations and compatibility with surrounding land uses, and the objective to provide a high quality assisted living facility that well serves the community. Refer to *Exhibit 4.5, Conceptual Site Plan*.

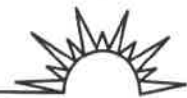
Site planning considerations include the following:

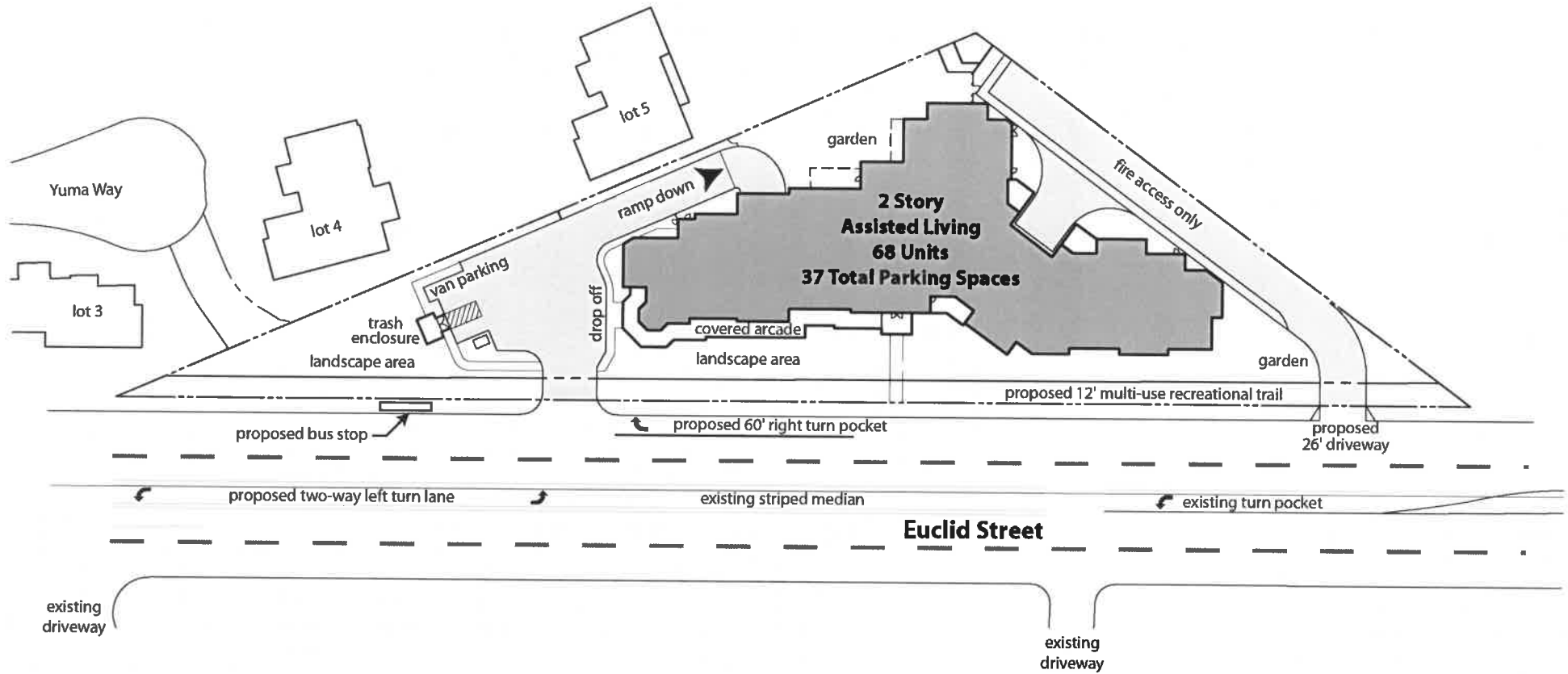
**Building Setbacks** - Generous building setbacks will be provided from each property line and from Euclid Street.

- **Landscaping** - The conceptual landscape plan shows a combination of mature trees, shrubs, ground cover and flowers. Landscaping style and theme is in accordance with the Early California/Craftsman style architecture.
- **Buffering of the site** - Buffering of the site from adjacent uses is done through a variety of ways, primarily through the combination of setbacks, landscaping and open space.

- **Design related to prevailing development features and residential character** - The architectural style of the building is an Early California/Craftsman-themed residential style characterized by the architectural design itself and materials used such as wood siding, stucco, stone, etc. The building will have a shingle roof, vertical wood siding with stone veneer accents, wood trusses, gables and recessed windows. The building architecture is intended to blend in with the existing neighborhood featuring the ranch style and equestrian nature of the area. Chapter 5.0, *Design Guidelines*, provides a detailed description of the building architecture, elevations and building materials.
- **Relationship to right-of-way** - A 37-foot building setback will be provided along Euclid Street. Euclid Street is classified as a scenic corridor; therefore, landscaping along Euclid Street will be according to scenic corridor requirements of the General Plan.

Refer to *Exhibits 5.1 and 5.2, Building Elevations*.





#### 4.4 Circulation and Parking

The circulation concept for the project provides for an on-site circulation system including a main entry driveway that connects with resident, visitor and staff parking located in the parking garage. Pedestrian walkways surround the building as well as a multi-use recreational trail and a public sidewalk as depicted in *Exhibit 4.6, Circulation, Parking and Access Plan*. Primary vehicular access to the site is located at the north entry driveway entrance.

##### A. Vehicular Circulation and Parking

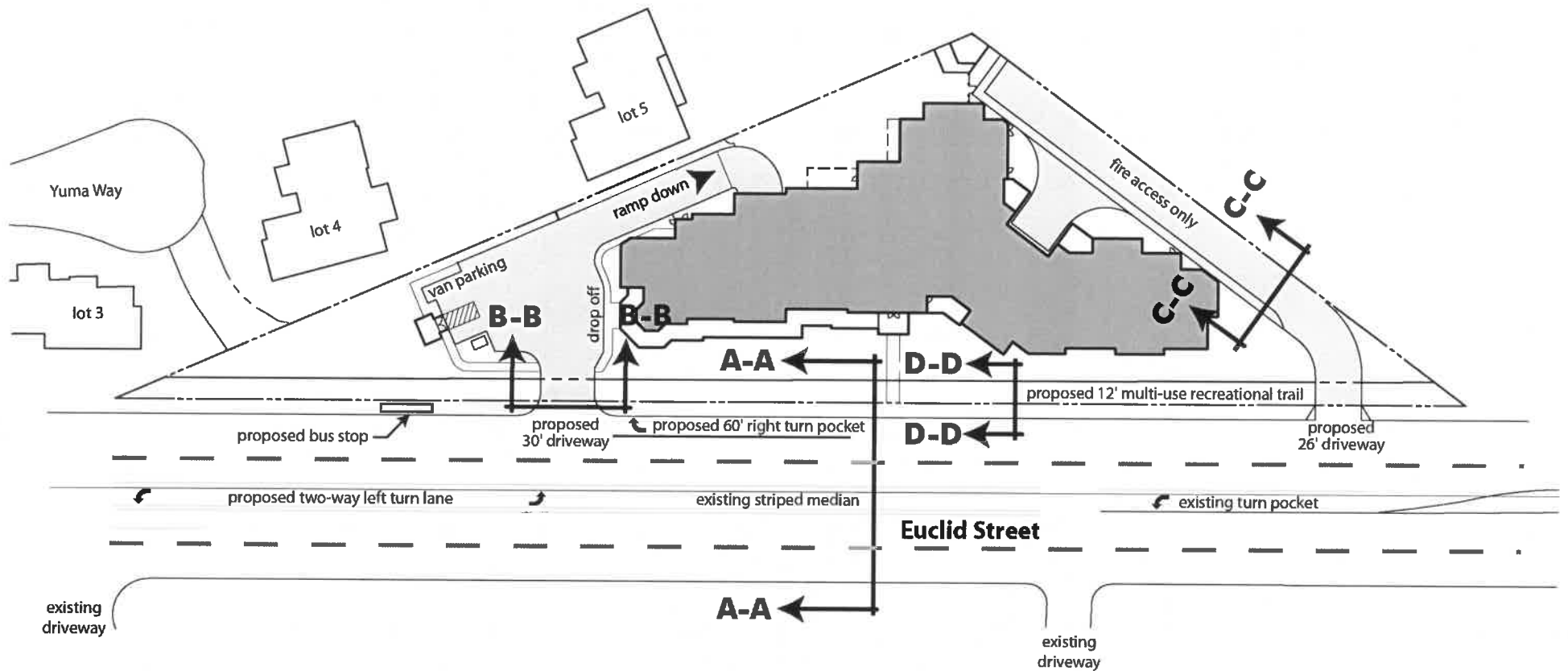
As shown in Exhibit 4.6, the Circulation Plan for Sunrise Assisted Living of Fullerton will utilize the main entry driveway along Euclid Street. Refer to *Exhibit 4.7, Conceptual Cross-Sections*, for further detail. Improvements to Euclid Street consist of a 60-foot northbound right turn pocket into the entry driveway and a two-way southbound left turn lane at the entry driveway along Euclid Street. A secondary southerly entry driveway is provided for purposes of fire access only and is shown in *Exhibits 4.6 and 4.7*. The Circulation Plan consists of the following components:

- **Euclid Street** is an existing north-south public roadway that borders the site to the west. It is designated as a major arterial highway by the City's Circulation Element and carries both local and commuter traffic. It is also a scenic corridor designated in the City's Resource Management Element of the General Plan. Currently, Euclid Street has a right-of-way width of 90 feet with four traffic lanes (two lanes in each direction). The ultimate row of 100' will be achieved with the dedication of 10' along the east side of Euclid Street in front of the project site. A public sidewalk is present on the west side of Euclid Street only. Refer to *Exhibit 4.7, Conceptual Cross Sections*.
  
- **Conceptual Re-striping Improvements to Euclid Street** include re-striping the northbound lanes in both directions to add a northbound 60-foot right turn pocket for purposes of accessing the site, and re-striping the median to accommodate a two-way left turn lane located just north of the project entry in a southbound direction.



- **Conceptual Public Right of Way improvements** include the addition of an OCTA bus stop that will be installed just north of the project access driveway. A 10-foot public-right-of-way will be dedicated to the City along Euclid Street. A 12-foot wide multi-use recreational trail will be constructed and improved along the project frontage adjacent to Euclid Street and will be dedicated to the City. A public sidewalk will be installed with appropriate street trees along the project frontage to comply with the City's adopted policy for scenic corridors.



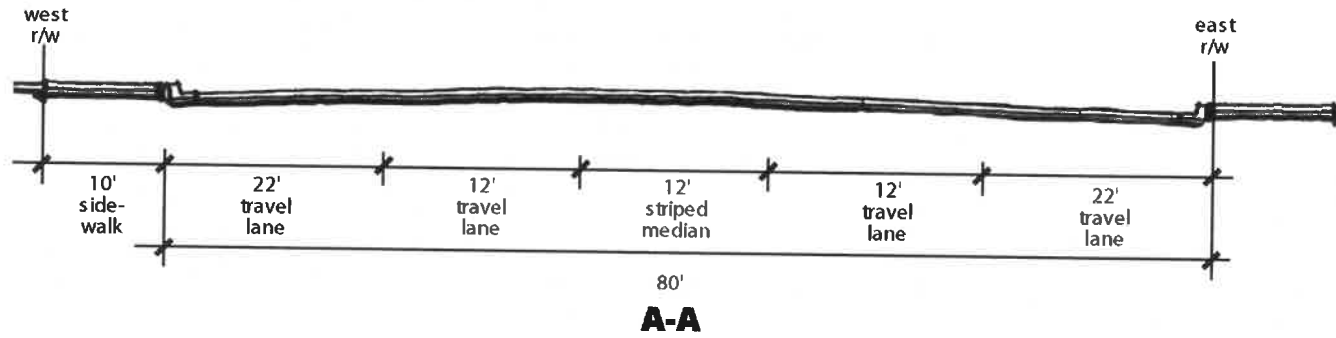


**PARKING**

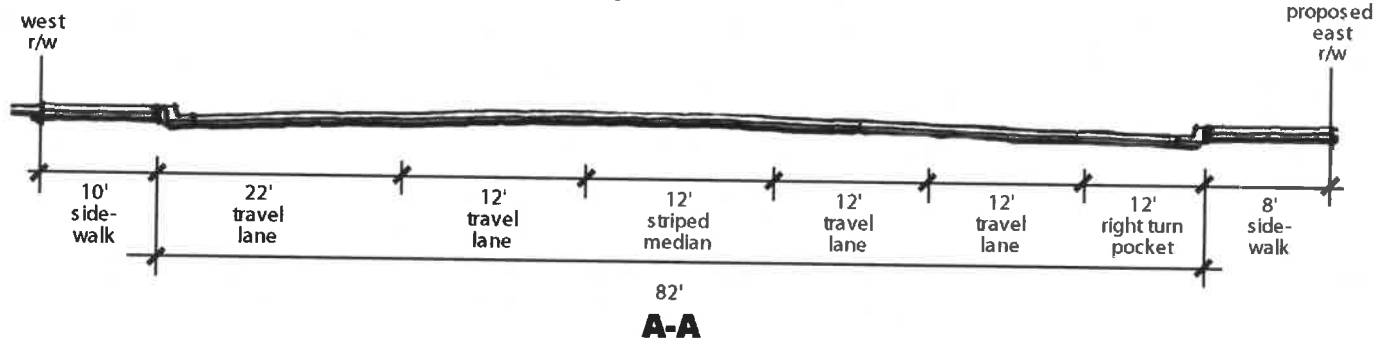
at grade van space:	1
at grade handicap spaces:	2
subterranean garage spaces:	34

total parking spaces provided: 37

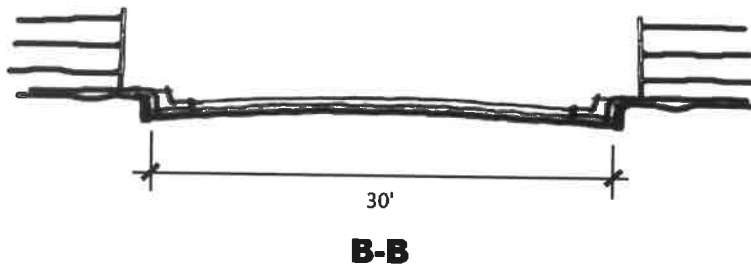




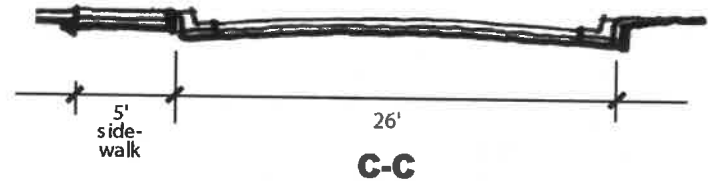
Existing Euclid Street



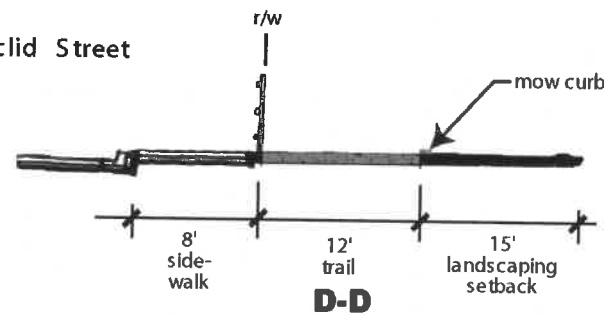
Euclid Street with Right Turn Pocket



North Entry Driveway at Euclid Street



South Entry Driveway at Euclid Street  
(Fire Access Only)



Multi-Use Recreational Trail





- **Internal Circulation and Parking:** One primary public access point and one secondary fire access point to the Sunrise Assisted Living of Fullerton facility will be provided. Both entries are located along Euclid Street. The primary public access, or main entry driveway, is a 30-foot driveway that allows two-way access to the facility. Fire access is provided by a 26-foot driveway located just south of the main entry along Euclid Street. At the main entry driveway, enhanced driveway paving, recreational trail signage, a stop sign and bollards at the trail head will be installed to reduce vehicular speeds to promote pedestrian safety.

The main entry drive provides direct access to the facility's drop-off and pick-up area. One (1) Van/shuttle parking space and two (2) disabled parking spaces area provided at-grade, adjacent to the main entry drive. A visitor drop off area will be provided along the main entry drive.

Access to underground parking structure is provided via the main entry driveway. Thirty-four (34) parking spaces are provided within the subterranean parking garage.

The secondary access drive (southerly entry) is a dedicated fire lane; appropriate identification as fire access only will be provided at this entry. Bollards will be installed on both sides of the driveway within the trail to deter any motorists from entering the trail.

#### B. Pedestrian Circulation

Pedestrian improvements include the addition of a public sidewalk along Euclid Street and the addition of an OCTA northbound bus stop.

Currently, the closest northbound bus stop is located one quarter mile north of the project site at Laguna Road (OCTA Bus Stop No. 1780). The corresponding southbound bus stop at Laguna Road is OCTA Bus Stop No. 1784. One quarter mile south of the project site is a northbound bus stop at Laguna Terrace Road (OCTA Bus Stop No. 1779). With the addition of a new bus stop in front of the project, OCTA Bus Stop No. 1779 will be removed from service.



Interior pedestrian amenities proposed as part of the Specific Plan include a system of enhanced crosswalks, pedestrian walkways, sitting areas, and enriched and attractive landscaping and passive outdoor areas. Refer to *Exhibit 5.3, Conceptual Landscape Plan*.

The main entrance driveway shall provide enhanced driveway paving, a parking directional sign, a vehicular stop sign for egress, an equestrian crossing sign and bollards that will encourage slowing of vehicular traffic and enhance pedestrian safety.

### C. Multi-Use Recreational Trail

The proposed *Bud Turner Trail* traverses the project site frontage along Euclid Street; it is classified as a "Backbone Trail" in the City's General Plan. Backbone trails are off-road local trails provided for users throughout the City and provide a major loop in the trail network. As an officially designated part of the network, the acquisition and easement rights to use the trails rest with the City.

The Sunrise Assisted Living Specific Plan shall include the construction of a portion of the *Bud Turner Trail* connection, providing local and regional trail connectivity. Sunrise Assisted Living of

Fullerton is also in close proximity to numerous other recreational hiking and bicycling trails, including the *Juanita Cooke Greenbelt Trail*, *Horse Alley Trail* and the *Nora Kuttner Trail*. There are multiple hiking and equestrian trails passing through Laguna Lake Park, and additional trails and trail facilities in the Brea Dam Recreational Area, including the *Lost Trail* and the *Trail Rest Park*.

A 12-foot wide multi-use recreational trail that traverses the project frontage will be dedicated to the City of Fullerton. The multi-use recreational trail dedication requirement is set forth in City's Municipal Code, Title 16, Chapter 16.05, "Dedication of Land for Public Use". Design for the multi-use recreational trail is shown in *Exhibit 4.7 Conceptual Cross Sections*. The design of the multi-use recreational trail shall comply with adopted City standards. Bollards will be installed where the trail intersects site ingress/egress to block vehicular access to the multi-use recreational trail.



## 4.5 Infrastructure

### A. Conceptual Water Facilities

#### Existing Water Facilities

Water service for the Sunrise Assisted Living of Fullerton project will be provided by the City of Fullerton.

The existing water system adjacent to the project site consists of a 24-inch water transmission main located approximately 15 feet west of the Euclid Street centerline and a 12-inch water transmission line located approximately 17 feet east of the Euclid Street center line. The location of existing water facilities are shown in *Exhibit 4.8, Conceptual Water Facilities Improvements Plan*. The existing water transmission pipelines will be retained as part of the Sunrise Assisted Living of Fullerton Specific Plan.

#### Conceptual Water Facilities Improvements

Conceptual water facilities improvements for the Sunrise Assisted Living of Fullerton Specific Plan shall include the addition of 4-inch water pipelines to provide potable water and fire water service to the project site. Water service shall connect from the

existing 12-inch pipeline located 17 feet east of the Euclid Street centerline. The locations of water facilities improvements are shown in *Exhibit 4.8, Conceptual Water Facilities Improvements Plan*.

Four fire hydrants are proposed for the project, including two public hydrants and two on-site private hydrants. Public fire hydrants will be accessible from Euclid Street. On-site fire hydrants will be located in the north and southeast portions of the site. The location of public and private fire hydrants is shown in *Exhibit 4.8, Conceptual Water Facilities Improvements Plan*.

All proposed water facilities improvements will be designed per the requirements and standards of the City of Fullerton.

### B. Conceptual Sewer Facilities

Sewer service for the Sunrise Assisted Living of Fullerton Specific Plan will be provided by the City of Fullerton.



### Existing Sewer Facilities

The existing sewer system consists of an 8-inch vitrified concrete transmission pipe located approximately 30 feet east of the Euclid Street centerline. The existing sewer pipeline is approximately 8 to 10 feet in depth. The location of existing sewer facilities is shown in *Exhibit 4.9, Conceptual Sewer Facilities Improvements Plan*.

### Conceptual Sewer Facilities Improvements

Conceptual sewer facilities improvements for the Sunrise Assisted Living of Fullerton Specific Plan include provision of a 6-inch sewer lateral connecting with the existing 8-inch transmission line in Euclid Street. The connection point will be located in the southern portion of the project site. The location of sewer facilities improvements is shown in *Exhibit 4.9, Conceptual Sewer Facilities Improvements Plan*.

All lines will be designed per the requirements and standards of the City of Fullerton. A grease interceptor will be installed in the project as required by City Building department.

## C. Conceptual Stormdrain/Hydrology Facilities

### Existing Stormdrain/Hydrology Facilities

Existing storm drainage facilities include an on-site natural drainage channel located along the southern portion of the project site which collects off-site storm water from an existing 18-inch storm drain serving adjacent residential development.

Existing off-site storm drain facilities include a 66-inch reinforced concrete pipe located approximately 24 feet east of the Euclid Street centerline that connects to an existing 8-foot by 5-foot reinforced concrete box culvert. Existing Storm water/Hydrology facilities are shown in *Exhibit 4.10, Conceptual Stormdrain/Hydrology Improvements Plan*.

### Conceptual Storm Drain/Hydrology Facilities Improvements

Proposed improvements for the project site include the removal of the existing on-site natural drainage channel and the construction of a 24-inch storm drain along the project's southern boundary. The proposed storm drain improvements will intercept

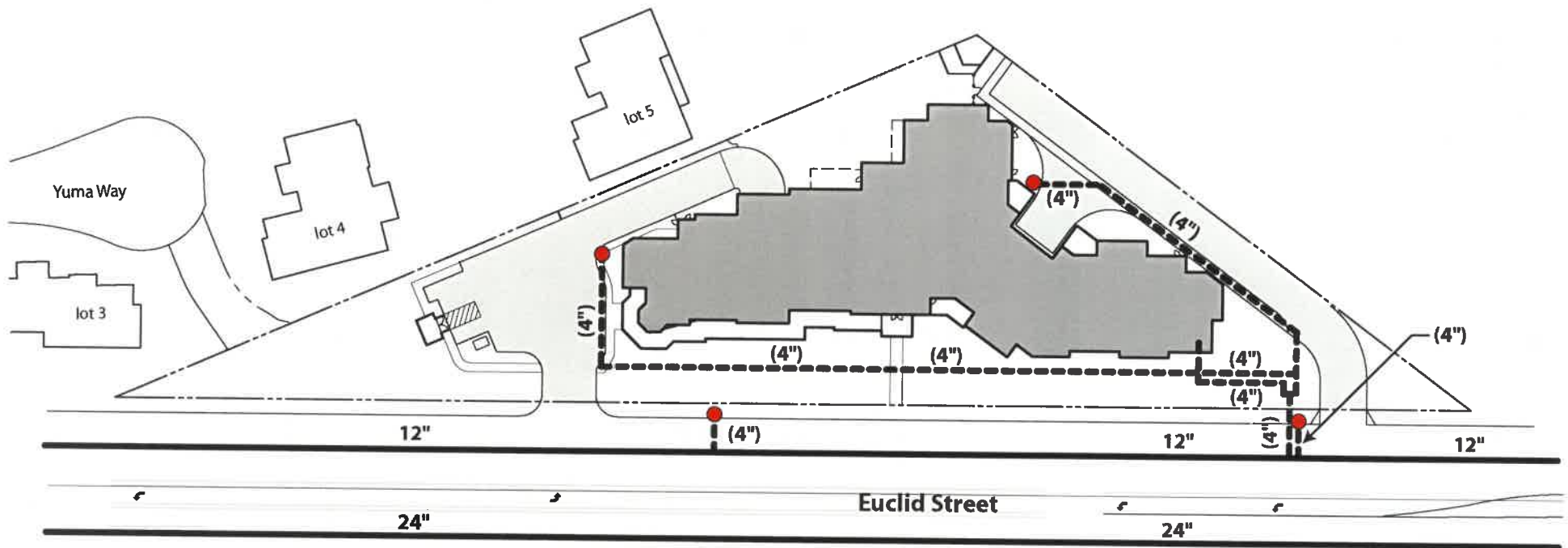


off-site storm water from an existing 18" drainage pipe located in the eastern portion of the site and discharge directly into the existing 5-foot by 8-foot concrete box culvert at Euclid Street.

A 12-inch storm drain and inlets will be located in the parking facilities at the northern project boundary to collect on-site run-off and will discharge into the existing 66-inch storm drain pipe at Euclid Street. The location of storm drain facilities improvements are shown in *Exhibit 4.10, Conceptual Stormdrain/Hydrology Improvements Plan*.

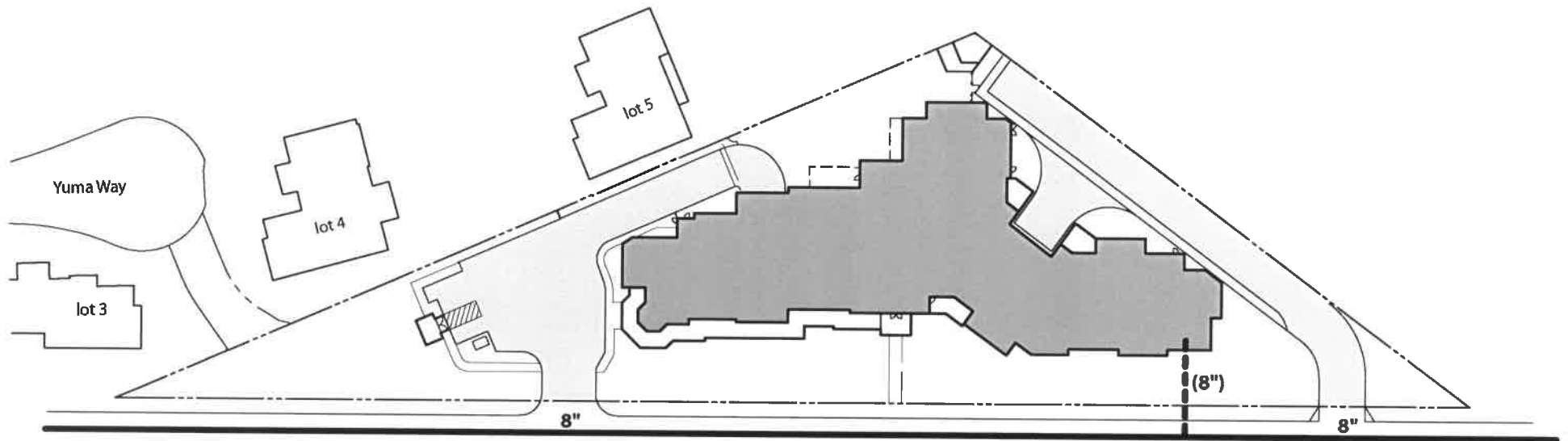
All assessments and technical analyses for the Sunrise Assisted Living of Fullerton project drainage will be conducted in compliance with local drainage policies as deemed appropriate. The proposed on-site drainage facilities will be installed and maintained by the developer. In addition, a construction Storm Water Pollution Prevention Plan (SWPPP) will be prepared and a Notice of Intent (NOI) will be submitted prior to the commencement of construction.





- Legend
- 12"** Existing Water Line
  - (4")** Proposed Water Line
  - Fire Hydrant





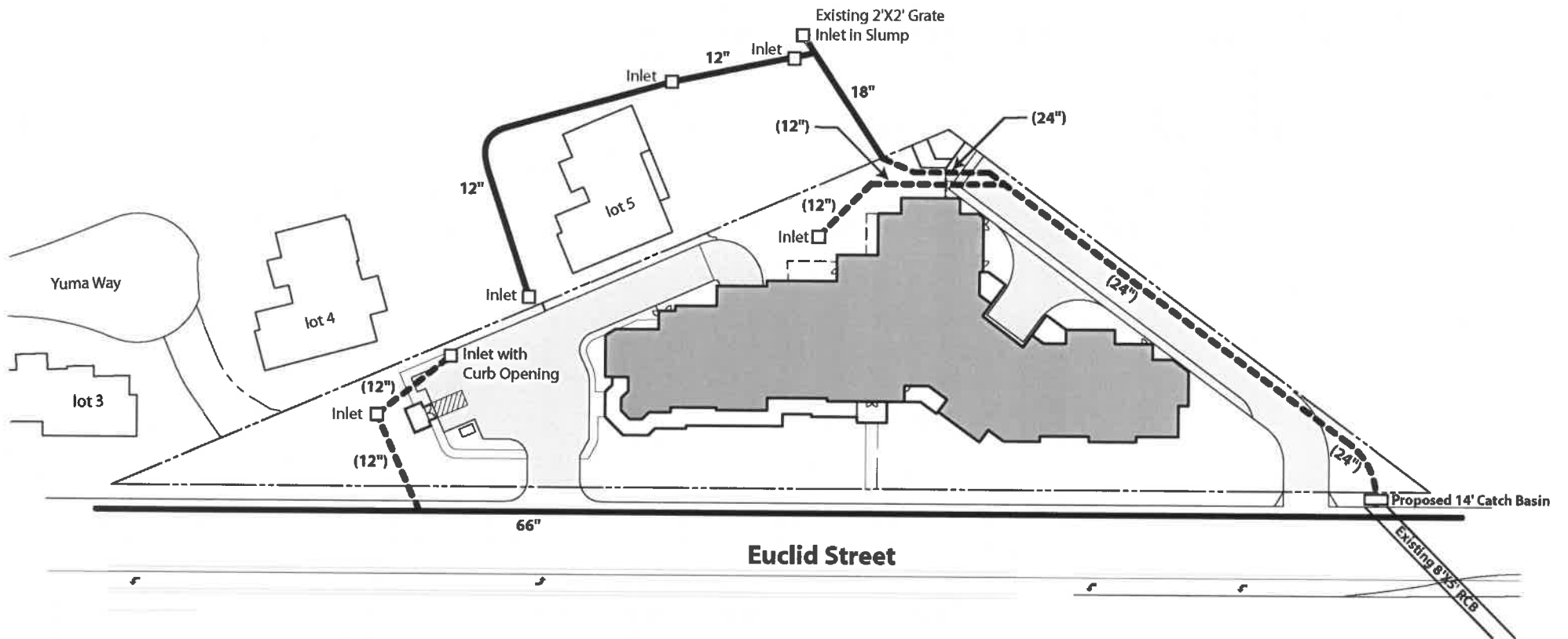
**Euclid Street**

Legend

**8"** Existing Sewer Line

**(8")** Proposed Sewer Line





- Legend
- 18"** Existing Storm Drain
  - (18")** Proposed Storm Drain
  - Inlet



## 4.6 Public Services and Utilities

### A. Police and Fire Protection Services

**Fire Service** – Fire protection is provided by the City of Fullerton Fire Department, which operates six stations in the City. Station #4, located at 3251 North Harbor Boulevard is the closest (approximately 1.5 miles) station to provide services to the project site.

**Police Service** – The City of Fullerton Police Department located at 237 West Commonwealth Avenue will provide police protection for the project site.

### B. Schools

Sunrise Assisted Living of Fullerton is located within the Fullerton School District. Since the project is a residential care and assisted living facility for the elderly, school enrollment shall not be impacted as a result of Specific Plan implementation.

However, in accordance with state law, the residential care and assisted living facility use

proposed on the site may be subject to school fees subject to a determination made by the school district.

### C. Parks and Recreation

There are several parks and recreational areas within close proximity to Sunrise Assisted Living of Fullerton, including the 28.5 acre Laguna Lake Park to the north, with picnic and equestrian facilities; and the 241.7-acre Brea Dam Recreational Area adjacent to St. Jude Medical Center, which includes the Leonard Andres Tennis Center, picnic facilities, and the Fullerton Municipal Golf Course. The Virgil “Gus” Grissom Park is a smaller park just southwest of the project site off of Rosecrans Avenue, which is a school and neighborhood park.

Sunrise Assisted Living of Fullerton is accessible to numerous recreational hiking and bicycling trails, including the *Bud Turner Trail*, *Juanita Cooke Greenbelt Trail*, *Horse Alley Trail* and the *Nora Kuttner Trail*. There are multiple hiking and equestrian trails passing through Laguna Lake Park, and additional trails and trail facilities in the Brea Dam Recreational Area, including the *Lost Trail* and the *Trail Rest Park*.



The assisted living facility is exempt from payment of recreation impact fees as determined by City of Fullerton Community Service Department.

#### D. Solid Waste

Solid Waste disposal in the City of Fullerton is provided by MG Disposal, which will also provide service to Sunrise Assisted Living of Fullerton project area. The City participates in a materials recovery recycling program, in which the project will participate.

#### E. Dry Utilities

Utilities will be provided by existing public utility companies that include Southern California Edison, SBC Pacific Bell, the Southern California Gas Company, and Adelphia Cablevision.

##### Electricity

Southern California Edison (SCE) will service and maintain the project area's electrical facilities, which will be an extension of existing service lines adjacent

to and within Sunrise Assisted Living of Fullerton. A will serve letter was received from Southern California Edison in September 2004 indicating electrical service will be provided for the project.

##### Natural Gas

Natural gas is imported by the Southern California Gas Company from its interstate system. Existing gas lines are present along Euclid Street, providing connections to the site. Service connections will be provided and maintained as needed. A will serve letter was received from Southern California Gas Company in September 2004 indicating natural gas service will be provided for the project.

##### Telephone

Telephone service and maintenance for the area is provided by SBC Pacific Bell. Telephone facilities will be located underground within the street rights-of-way. A will serve letter was received from SBC Pacific Bell in November 2004 indicating telephone facilities service will be provided for the project.



Cable TV

Cable TV service is provided by Adelphia Cablevision. Existing cable TV lines are present in Euclid Street. A will serve letter was received from Adelphia Cablevision in November 2004 indicating cable service will be provided for the project.





# CHAPTER 5.0

SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN

DESIGN GUIDELINES

## 5.0 DESIGN GUIDELINES

### 5.1 Introduction

This section provides design guidelines, which establishes the overall design theme for the development of Sunrise Assisted Living of Fullerton. The design guidelines encourage the highest level of design quality and creativity.

The Design Guidelines contained in this section should be used as a guide when developing projects. The City of Fullerton will utilize these guidelines to evaluate the Sunrise Assisted Living of Fullerton development. Guidelines for site planning, architecture, and landscape architecture are provided below.

### 5.2 Site Planning

- The arrangement of the building, parking and circulation areas should recognize the particular characteristics of the site and should relate to the surrounding built environment.
- Buffers from adjacent residential through the use of landscaping, setbacks and/or appropriate building orientation should be encouraged.

- Pedestrian linkages (e.g., pedestrian walkways, landscape areas, gardens, outdoor common area, etc.) are encouraged.
- Loading and delivery service areas should be located and designed in a manner that reduces or eliminates circulation conflicts.

### 5.3 Architectural Design

#### A. Architectural Character

The architectural character for Sunrise Assisted Living of Fullerton is based on an Early Californian/Craftsman-themed residential style. This style was almost exclusively a domestic style closely associated with the suburbs and the middle class. There are numerous examples of this style in Orange County and throughout California. Its purest expression is the California bungalow. Its most developed local examples are the Craftsman bungalow dwellings in Pasadena, designed by the brothers Charles and Henry Green.

This particular residential style offers opportunities to differentiate wall planes and overhangs to break up the building mass into more intimately scaled elements. Characteristics of this style include:



- ❑ Simple, box like shapes and low pitched roofs.
- ❑ General informal plans and non-symmetrical elevations.
- ❑ Screened sun and sleeping porches and terraces are common.
- ❑ Even in large houses, the scale suggests the intimate and informal.
- ❑ A variety of options for the treatment of exterior wall surfaces ranging from stucco to shingles and board and batten siding.
- ❑ Use of river rock or ledge stone for sheathing of lower wall portions and column bases is common.
- ❑ Exposed structural members, including roof rafters, roof supporting struts and projecting end beams.
  
- ❑ Well designed buildings in this style appear to be low to the ground and mirror the irregularity of their sites.

Given the challenges of the project's particular setting, it was determined that the Craftsman style was the appropriate choice for the architecture of the proposed building.

The building has a composition roof, predominantly horizontal siding with vertical highlights at the second floor on gable ends, vertical wood siding, stone veneer accents, wood trusses, gables and recessed windows. Building colors are earth tones to blend with the surrounding neighborhood. *Exhibits 5.1 and 5.2, Building Elevations North and South and Building Elevations East and West* illustrate the building's general design and orientation at project build-out.

The project is compatible with the architectural style of surrounding land uses and is an appropriate transitional style that fits within the overall community architectural style and diversity.

#### General Guidelines

- ❑ The architectural style should consider compatibility with surrounding development.
- ❑ Building(s) should have articulation and projections with architectural elements and details.
- ❑ Recessed fenestration and simple door/window detailing should be incorporated at the building façade to reflect and compliment the architectural style.



- ❑ The size and location of doors and windows should relate to the scale and proportions of the building elevation on which they are located.
- ❑ Design features should be fully articulated on all sides of the building.

### B. Orientation

- ❑ Building orientation should consider the site's characteristics; such as it's elongated, triangular shape, the proximity of nearby homes, and the location and access along Euclid Street.
- ❑ Building orientation should facilitate and encourage pedestrian activity and convey a visual link to the equestrian trail, street and sidewalk.
- ❑ Buildings should be oriented towards the street and sidewalk to establish a strong tie to the street frontage.

### C. Massing

#### Building Massing

- ❑ Building(s) should be massed along Euclid Street and the internal main driveway, providing for pedestrian scaled development.

- ❑ Building entries and heights along Euclid Street should be compatible with the existing scale of adjacent neighborhoods.
- ❑ Pedestrian amenities including walkways, courtyards, fountains, planters and gardens should occur throughout the project site. The use of open space should be encouraged.
- ❑ Building(s) should provide for a variety in massing, scale, setback and architectural treatments.
- ❑ Architectural features should be incorporated into the building design to eliminate a box-like appearance. Varying rooflines and articulated building elevations should be incorporated into the building design to soften the scale and mass of the building.
- ❑ The scale and mass of building(s) should be reduced through changes in horizontal plane, materials or color.
- ❑ The Building entry(s) should be clearly identifiable. Use of large overhangs, recess projections, columns and other distinctive materials and colors to articulate entries are encouraged.



*Exhibits 5.1 and 5.2, Building Elevations North and South and Building Elevations East and West, illustrate the general massing of the building at project build out.*

#### **Window Treatment**

- All windows should receive exterior trim as characterized by the Craftsman style and be dual glazed and residential in nature. Windows should utilize clear, translucent glass and not use highly reflective material.







NORTH ELEVATION



SOUTH ELEVATION





WEST ELEVATION



EAST ELEVATION

**D. Color and Materials**

- ❑ The Early California/Craftsman-themed residential style/concept is carried through into earth tone building colors with stone veneer accents.
- ❑ Building colors and materials should be of subtle natural tones with contrasting colors used for accents and details.
- ❑ Colors and materials should be consistently applied and should compliment adjacent materials.
- ❑ Exterior materials and architectural details should be complimentary and stylistically consistent.
- ❑ Material changes not occurring at changes in plane appear “tacked-on” and are strongly discouraged.
- ❑ Building materials should be durable and resistant to damage, defacing, and weathering. Appropriate building materials include concrete, stone, metal, stucco, glass and/or other similar composites. These materials may be used in any combination. Please refer to *Table 2, Suggested Materials*.

**TABLE 2 – Suggested Materials**

	<b>Materials</b>
<b>Exterior Finishes:</b>	- Olympic Exterior Stain 716 – Natural Tone Cedar Vertical shiplap siding  - Olympic Exterior Stain 911 – Natural Tone Cedar Horizontal shiplap siding  - Frazee Paint 7752W – Oakbluff Stucco  - Frazee Paint CW002W – Rain Shimmer Trim Board  - Fog Southern LedgeStone Cultured Stone CSV - 2028 Stone Veneer wainscot
<b>Roofing Material:</b>	- GAF Timberline Cedar T40



### E. Screening/Mechanical Equipment

- Roof mounted equipment should not be visible from adjacent buildings at-grade. Rooftop equipment should be screened from view of public streets and nearby buildings on all sides with landscaping and/or architectural elements, including horizontally installed louvered screens on top of equipment wells, creating the illusion of a solid horizontal roof cover.
- Equipment screening should be compatible with the architecture, materials and colors of the building.

## 5.4 Landscape Architecture Guidelines

This section contains the landscape design concepts, guidelines and special treatments for the implementation of landscaping within the Sunrise Assisted Living of Fullerton Specific Plan area. The landscape design concepts and guidelines are intended to:

- Contribute to the enhancement of community character.
- Create a landscaped environment that encourages walking and recreational use.

- Provide a plant palette that is sensitive to the Fullerton environment and compliments the existing landscape environment.
- Comply with Fullerton Municipal Code requirements.

### A. Landscape Concept Plan

The Landscape Concept Plan for Sunrise Assisted Living of Fullerton is illustrated in *Exhibit 5.3, Conceptual Landscape Concept Plan*.

- A proposed mix of accent trees, shrubs, and groundcover has been carefully selected to compliment the architectural design of the project and to identify circulation hierarchies and public spaces.
- Landscaping should enhance the quality of the project by framing and softening the appearance of buildings, screening undesirable views and buffering incompatible uses.
- All areas not covered by buildings, walkways, driveways, parking spaces, and service areas, should be landscaped.



- ❑ Landscaped areas should generally incorporate planting utilizing a three tiered system: 1) trees, 2) shrubs and vines, and 3) groundcover.
- ❑ Layered trees, shrubs, plants and decorative hardscape features complimentary to the site and architectural style are encouraged.
- ❑ Where parking lots abut buildings, landscaping around the base of buildings is encouraged to soften the edge between the building and parking lot.
- ❑ Planters and pots placed in building recesses and adjacent to blank walls are encouraged to provide visual interest. Planter and pot materials should complement the building architecture and should incorporate irrigation systems as required based on type of plant material.
- ❑ Street trees with grates should be placed appropriately per City requirement to soften the street edge and create a pleasant walking environment.
- ❑ Landscaping should be placed so that it does not interfere with lighting or restrict access to utilities or emergency apparatus.
- ❑ Landscaping should be complimentary in scale with adjacent buildings and be of appropriate size at maturity.
- ❑ Textured paving materials suitable for use by those requiring the aid of a wheel chair, walker, cane or similar aid will be used in pedestrian areas such as pedestrian walkways, the main entry driveway and courtyard areas.
- ❑ Bollards will be used at equestrian crossing(s) to emphasize the pedestrian nature of the street in that location, enhancing safety.

The concept for the landscape design is to create a garden with elements that will encourage the residents to participate and use the outdoor spaces. Points of interests are formed by themed gardens and are linked together by a meandering walk with benches for resting. The various gardens types are:

- ❑ A formal rose garden with tea roses and a covered plaza for sitting;
- ❑ A butterfly and boulder garden using plants to attract insects and birds;
- ❑ A sensory garden using fragrant and flowering shrubs to induce the use of sight and smell; and



- A raised planter box garden to plant seasonal vegetables and flowers.

The gardens use large massing of water-efficient shrubs and ground covers, flowering vines, and informal groves of accent trees that compliment the surrounding neighborhood and building architecture.

#### B. Development Edge and Buffer Treatments

- Landscaping should be used to define edges, buffer adjacent properties and screen parking, equipment, and trash receptacle areas.
- Parking should not dominate the street frontage. Parking areas should be screened from public view through landscaping and other treatment.

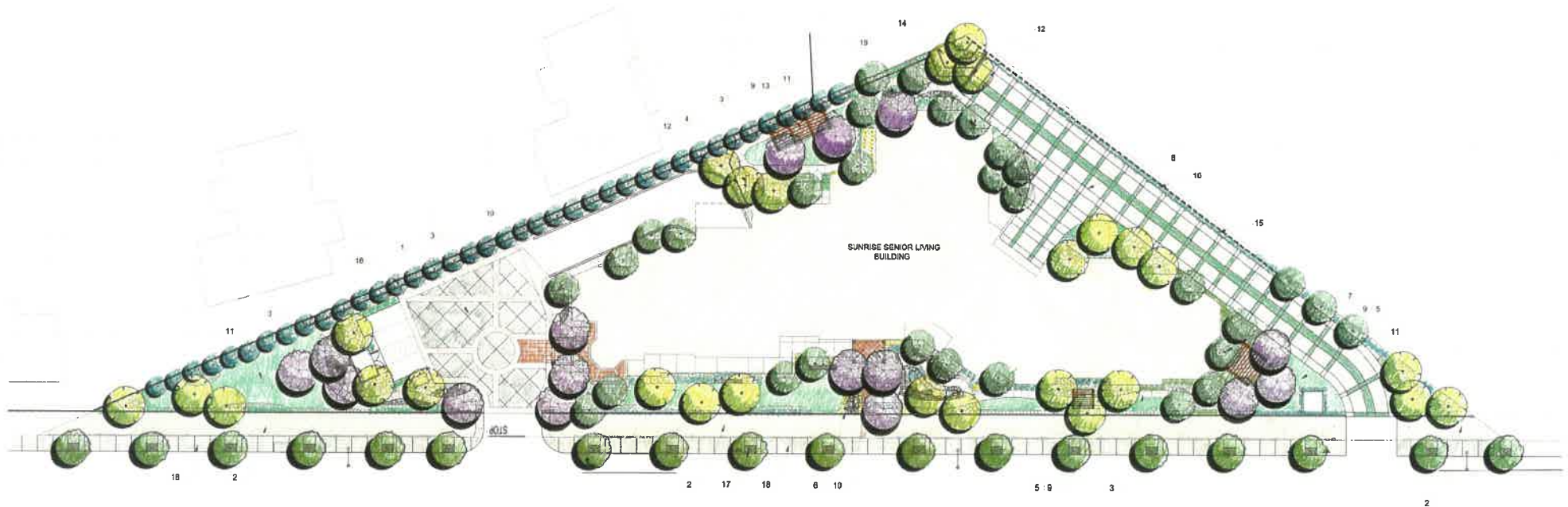
#### C. Recommended Plant Materials

*Exhibit 5.4, Recommended Plant List*, identifies the recommended plant palette for the project.



# LEGEND

1. ENHANCED VEHICULAR PAVING WITH BANDING
2. 12' WIDE MULTI-USE RECREATIONAL TRAIL
3. MEANDERING CONCRETE WALK FOR RESIDENTS
4. RAISED GARDEN PLANTER FOR RESIDENT PARTICIPATION
5. PARK BENCH
6. PROJECT MONUMENT SIGN
7. ROSE GARDEN FOR RESIDENTS
8. FIRE ACCESS DRIVE WITH TURF BANDS
9. DECORATIVE WOOD TRELLIS WITH FLOWERING VINES
10. ENTRY AREA WITH ENHANCED TILE PAVING
11. TURF GRASS AREA
12. DECORATIVE METAL FENCING AND GATE
13. GROUP GATHERING AREA
14. TERRACED PLANTING AREAS
15. RETAINING WALL
16. PLANTER AREA AT WALL FOR SHRUBS & CLIMBING VINES (10' O.C.)
17. TREE WELL & STREET TREE
18. CITY SIDEWALK
19. BIRD BATH



	Botanical/Common Name		Botanical/Common Name
<b>Flowering Accent Trees</b> (24" Box)	erythrina caffra/coral tree jacaranda mimosifolia/jacaranda robinia x ambigua 'idahoensis'/idaho locust pistacia chinensis/chinese pistache	<b>Shrubs</b> 5' o.c.	abelia grandiflora/glossy abelia* raphiolepis 'majestic beauty'/inda hawthorne buddleia alternifolia/fountain butterfly bush* lavatera trimesters/tree mallow* phormium tenax 'monrovia red'/new zealand flax* abutilon spp./flowering maple photinia serrulata/ chinese photinia* tibouchia urvilleana/princess flower elaegnus commutata/silverberry*
<b>Canopy Trees</b> (24" Box)	tipuana tipu/tipu tree liriodendron tulipifera/tulip tree* cupaniopsis anacardioides/carrot wood fixinus uhdei/evergreen ash*		<b>Shrubs</b> 4' o.c.
<b>Vertical Accent Trees</b> (24" Box)	pinus canariensis/canary island pine* liquidambar styraciflua 'palo alto'/american sweet gum tristania conferta/brisbane box hymenosporum flavum/sweetshade	<b>Shrubs</b> 3' o.c.	
<b>Street Trees</b> (24" Box)	lagerstroemia indica/crape myrtle*		<b>Shrubs</b> 2' o.c.
<b>Vines</b> (5 gallon)	hardenbergia vilacea/hardenbergia wisertia sinensis/chinese wisteria* ficus pumila/creeping fig* solanum jasminoides/potatoe vine* bougainvillea spp./bougainvillea*	<b>Shrubs</b> 18" o.c.	
<b>Ground Covers</b>	Sodded Turf hedera helix 'needlepoint'/needlepoint ivy* vinca minor/dwarf periwinkle* correa pulchella/australian fuchsia* trachelospermum jasminoides/star jasmine lonicera japonica/japanese honey suckle* annual color - to be determined		

\* Denotes plants listed on the City of Fullerton's suggested drought tolerant plant list.





**D. Entry Landscape Treatment and Monumentation**

- ❑ Entry areas should be enhanced with ornamental landscaping, decorative paving, and monument signage, where applicable.
- ❑ Entry monumentation should be appropriately scaled and complimentary to the landscape and architectural design of the site.

**E. Signs**

- ❑ *Exhibit 5.5, Conceptual Sign Plan*, shows the location of signs within the project area. *Exhibit 5.6, Project Monumentation*, provides a graphic representation of the project monumentation sign.
- ❑ The location, size, height, design, and lighting of signs should be compatible with the use of the property and the surrounding neighborhood.
- ❑ Signs should be constructed of high quality, durable materials.
- ❑ Sign design and sign copy should be complimentary with the architectural design of the project site.
- ❑ Project identity should be provided primarily at the primary access of Euclid Street and the project entry.

- ❑ Site ingress/egress should be clearly identified with directional signage.

**F. Streetscape**

- ❑ *Exhibit 5.3, Conceptual Landscape Plan*, illustrates the landscaping along Euclid Street.
- ❑ Euclid Street streetscape includes a public sidewalk with street trees. The site area transitions to a mixture of shrub plantings and informal groupings of trees.
- ❑ New streetscape improvements should be complimentary in design, scale and palette with existing streetscape elements.
- ❑ Street trees should not be placed in a manner that obstructs pedestrian, equestrian, or recreational movement, or visually obstructs entryways and signs.

**G. Lighting Design**

- ❑ Site lighting should not create glare nor be obtrusive to adjacent properties.
- ❑ Lighting fixtures should be complimentary to the architectural design of the site.

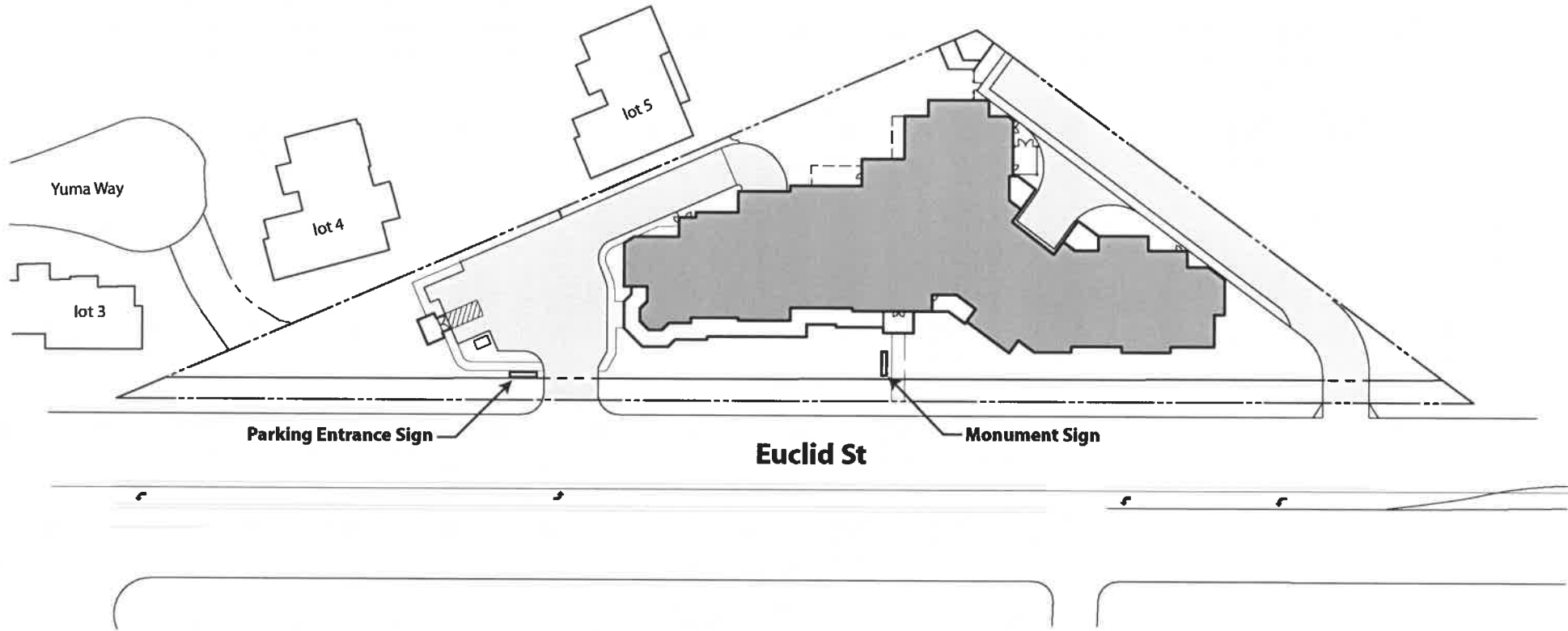


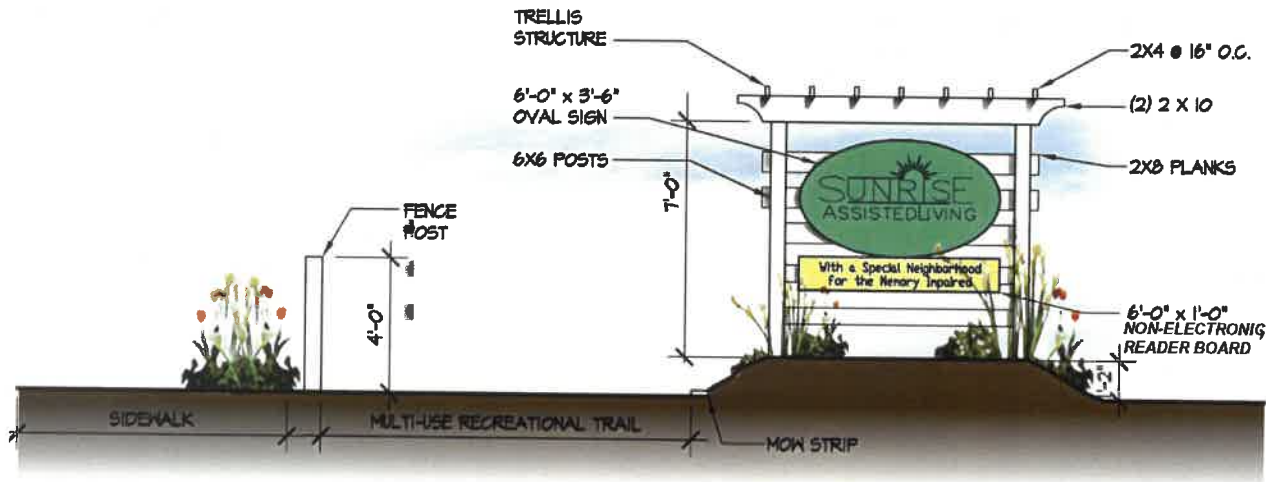
- ❑ Appropriate lighting should be used at entries, plazas, courtyards, parking lot and garage, pedestrian walkways, and other areas utilized by pedestrians.

#### H. Wall and Fence Guidelines

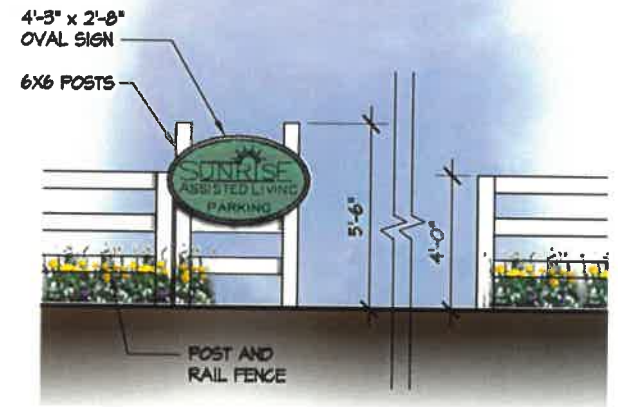
- ❑ Wall and fence design should complement the project's architecture. Landscaping should be used to soften the appearance of wall surfaces.
- ❑ Solid walls with pilasters, decorative caps and offsets are encouraged.
- ❑ Walls should accommodate landscape treatment, signage, and architectural monumentation.







**Monument Sign**



**Parking Entrance Sign**





# CHAPTER 6.0

SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN

LAND USE AND DEVELOPMENT REGULATIONS

## 6.0 LAND USE AND DEVELOPMENT REGULATIONS

### 6.1 Purpose and Intent

This section has been prepared in accordance with California Government Code Section 65450, et seq. and Title 15 of the Fullerton Municipal Code). This section sets forth the standards for development of all uses within Sunrise Assisted Living of Fullerton Specific Plan. Application of these regulations is specifically intended to provide the most appropriate use of the land, create a harmonious relationship among nearby land uses and protect the health, safety and welfare of the community.

### 6.2 General Provisions

#### A. Applicability

The Sunrise Assisted Living of Fullerton Specific Plan shall constitute the legal zoning for the property. Development plans or agreements, precise development plans or any other action requiring ministerial or discretionary approval of the subject property must be consistent with the Specific Plan. Actions deemed to be consistent with the Specific Plan shall be judged to be consistent

with the City of Fullerton General Plan, as mandated in California Government Code Section 65454.

Should the regulations contained herein differ from the regulations of the City of Fullerton Zoning Ordinance, the regulations of the Specific Plan shall prevail.

#### B. Severability

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

#### C. Interpretation

Any ambiguities related to the implementation of the provisions of this Specific Plan shall be resolved by the City of Fullerton's Director of Development Services. Such interpretations shall take into account the stated goals and intent of the Specific



Plan. Any interpretation made by the Director of Development Services may be appealed to the Planning Commission. The decision of the Planning Commission shall be final unless appealed to the City Council.

#### D. Definitions

Unless otherwise specified herein, terms used in this document shall have the same definitions provided in Title 15 City of Fullerton Municipal Code.

- **Gross Site Area** – Gross site area is determined by the total acreage (or square footage) of the development/parcel less dedication for 10' right-of-way.
- **Net Site Area** – Net site area is determined on the total acreage (or square footage) of the development/parcel less dedications for 10' right-of-way and 12' multi-use recreational trail.
- **Lot Coverage** – Lot coverage is building footprint divided by gross site area (please see footnote 3 on page 4.9, Table 1).

#### E. Technology/Energy Efficiency

The builder is urged to incorporate energy efficient building techniques to reduce long-term costs.

### 6.3 Land Use/Establishment of Zoning Subdistricts

Land uses within The Sunrise Assisted Living of Fullerton Specific Plan shall be permitted in accordance with the uses described in *Subsection 6.3.A, Conditionally Permitted Uses*, and the standards identified within this chapter.

#### A. Conditionally Permitted Uses

The following use is conditionally permitted within the Specific Plan:

- **Residential Care Facility for the Elderly (RCFE)** is a group housing arrangement licensed under Section 1569.2 of the Health and Safety Code, and chosen voluntarily by residents over 60 years of age, but also including persons under 60 years with compatible needs, who are provided varying levels and intensities of care and supervision or personal care, based upon their varying needs, as determined in order to be admitted and to remain in the facility.

#### B. Prohibited Uses

All uses that are not otherwise defined in this section shall be prohibited from this Specific Plan.

### C. Temporary Uses

Temporary onsite building(s), structures, trailers, etc. during project construction and for the purpose of project grand opening and preliminary rentals are permitted. Any temporary uses within the Specific Plan area shall be subject to the Fullerton Municipal Code Section 15.56.090.

## 6.4 Development Standards

The Sunrise Assisted Living of Fullerton Specific Plan allows for a residential care facility for the elderly within the Specific Plan District (SPD). As such, the following regulations stand in contrast to traditional zoning that separates residential, commercial, and office uses into distinct areas or zones.

### A. General Site Development Standards

- All lighting shall be designed and located so as to confine direct rays to the premises.
- Trash receptacles shall be fully enclosed. All receptacles shall be screened from Euclid Street and on at least two (2) sides by landscaping, and shall be constructed to City of Fullerton standards.

### B. Density

Project density within the Specific Plan District is determined by dividing the residential units (42.5 residential units) by the gross site acreage (1.76 gross acres). Consistent with the City of Fullerton Municipal Code, and as established pursuant to this Specific Plan District, "Residential Units" are determined and calculated using a density equivalency factor of 1 bed equals ½ of a residential unit. There are 68 resident units in the plan, which equal 42.5 residential units:

$$42.5 \div 1.76 = 24.1 \text{ dus/acre} = \text{density.}$$

The project density falls within the City of Fullerton General Plan threshold of 28.0 dwelling units per acre established for the Medium Density Residential (MDR) Land Use Category.

A maximum residency, or cap, of 85 residents is established for the project via this Specific Plan.

### C. Permitted Buildings Heights

The maximum building height within the Specific Plan District shall not exceed two (2) stories or 30 feet from natural grade, which ever is greater. Screening for rooftop mechanical equipment shall not extend beyond this limit.





Building height at any given point shall be measured from the natural grade. Exceptions to this requirement may be permitted subject to Director of Development Services approval.

**D. Floor Area Ratio/Lot Coverage**

The Floor Area Ratio for the overall Sunrise Assisted Living of Fullerton Specific Plan shall not exceed 0.70. Floor Area Ratio is defined as building area divided by gross site area. Any increase in floor area ratio above 0.70 (70%) shall require a Specific Plan Amendment.

All buildings and structures shall not cover more than 40% of the gross site area.

**TABLE 3 - Allowable Lot Coverage/Floor Area Ratio Requirements**

<b>Lot Coverage</b> (Building footprint + Gross Site Area)	Not to exceed 40%
<b>FAR</b> (Building area + Gross Site Area)	Not to exceed 70%

**E. Building Setbacks**

Building setbacks shall comply with the following standards:

**TABLE 4-- Building Setbacks**

Setbacks	Minimum Distance
<b>Front Yard</b> (Euclid Street)	15 feet measured behind multi-use recreational trail
<b>Side Yard</b> (northerly)	25 feet
<b>Rear Yard</b> (southerly)	25 feet
<b>Parking Areas</b>	10 feet from any property line

**F. Dedication Requirements**

**Public Street and Sidewalk**

A ten-foot wide street and sidewalk dedication will be provided on Euclid Street.

**Multi-Use Recreational Trail**

A twelve (12) foot multi-use recreational trail will be dedicated along the project frontage and behind the public street and sidewalk dedications. The City of Fullerton will be responsible for the long term maintenance of the trail.



## 6.5 Landscaping and Open Space Requirements

### A. General

- With exception to modifications identified within this chapter, all landscaping and irrigation systems and plans shall conform to applicable sections Title 15 of the Fullerton Municipal Code.
- All landscape drawings and plans shall be prepared by a California licensed landscape architect. Installation of plantings and hardscape materials within the Project shall be overseen by a licensed landscape architect.

### B. Walls and Fences

Fencing shall require review and approval by the Director of Development Services as part of Major Site Plan Review.

- Maximum retaining wall height shall be 16', tapering to 3' along a portion of the south property line.
- Maximum wall/fence height along the side yard property line (northerly) shall not exceed 8' high.

### C. Open Space

#### Usable Outdoor Open Space

For purposes of calculating usable open space, the secured garden area, rose garden area, open garden area, and the landscape setback area are used to determine outdoor open space. The second floor balcony area and front entry porch are excluded. The minimum allowable outdoor open space area is 25% based on net site area.

#### Usable Indoor Space

For purposes of calculating usable indoor space, the common areas (such as the dining room, living room and bistro) will be used to determine indoor space area. The minimum allowable indoor space is 10% based on building area.

## 6.6 Parking, Access and Circulation

### A. Required Parking

- Permanently maintained, off-street parking spaces will be provided for any building constructed, reconstructed, altered or subject to a change in occupancy or use.



- ❑ Emergency vehicle access drives or fire lanes shall be marked “no parking.”
- ❑ In accordance with Fullerton Municipal Code, the parking standard for Type IV Congregate Care facility of 0.5 spaces per resident unit is utilized to determine parking requirements. This code standard most closely mirrors the operating characteristics of a Residential Care Facility for the Elderly (RCFE). A minimum of thirty four (34) parking spaces shall be provided for the project.
- ❑ In accordance with Title 24 of the California Building Code, handicapped parking spaces shall be provided and located as close to the buildings as feasible.
- ❑ The minimum standard parking stall dimensions shall be nine (9) feet wide by (19) nineteen feet in length with an additional six (6) inches added to each space adjacent to a wall within the parking garage.

#### B. Vision Clearance Requirements

Vision clearance areas, as defined by Title 15 of the Fullerton Municipal Code, will be maintained.

- ❑ Building walls, fences, or landscaping in any driveway vision clearance area or line of sight area as defined in the Traffic Study shall not exceed three feet in height or limit established by the traffic study if more restrictive.

### 6.7 Sign Standards and Regulations

#### A. Definitions

The signage definitions described in Section 15.49.015, *Definitions*, in the Fullerton Municipal Code shall apply.

#### B. Design Standards

One monument sign is allowed along the project frontage. Refer to *Exhibit 5.6, Project Monumentation*

- ❑ Sign oval shall not exceed 6'-0" w x 3'-6" h in area.
- ❑ Sign height shall not exceed 7'-0", including berm.
- ❑ Reader board will be mounted below sign oval to advertise Alzheimer's care. Reader board

shall be 1' high x 6' long in sign area and shall not be electronic.

A parking directional sign shall be permitted at the primary driveway entry. The maximum sign area allowed for the primary directional sign oval shall be 4' 3" wide x 2' 8" high.

Any illumination of monument and directional sign(s) shall comply with City of Fullerton standards for nighttime illumination.

#### C. Lighting Design Standards

All exterior lighting shall comply with City of Fullerton standards for nighttime illumination. Exceptions to the City's lighting standards and requirements may be permitted subject to the approval by the Director of Engineering.

#### D. Prohibited Signs

Except for a building address, no wall mounted signs are allowed on the building.





# CHAPTER 7.0

SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN

IMPLEMENTATION AND ADMINISTRATION



## 7.0 Implementation and Administration

This Chapter describes the implementation and administrative procedures required for the timely review and permitting of land uses and development activity with the Sunrise Assisted Living of Fullerton Specific Plan area.

### 7.1 Applicability

The provisions of this Chapter are applicable to the considerations of development activity and land use within the boundary of the Sunrise Assisted Living of Fullerton Specific Plan.

The regulations, development standards and guidelines as contained in this Specific Plan shall apply in their entirety in the review of this development proposal.

### 7.2 Relationship to Zoning Code

The provisions contained in this Specific Plan constitute the primary land use and development standards for the project area. These regulations are applied in addition to the provisions set forth in the Fullerton Municipal Code. As part of the implementation of this Specific Plan, the Fullerton Municipal Code and Zoning Map shall be

amended to include the Specific Plan District (SPD) classification.

### 7.3 General Plan Amendments

Concurrent to the adoption of the Sunrise Assisted Living of Fullerton Specific Plan, the Fullerton General Plan shall be amended to provide necessary modifications to provide consistency between the General Plan and the Specific Plan. The following amendments to the General Plan shall ensure consistency:

- A General Plan Amendment changing the land use designation from Low Density Residential (LDR) to Medium Density Residential (MDR). The MDR land use designation is consistent with the new Specific Plan District zoning classification of the site.
- Table LU-4, titled *Corresponding General Plan and Zoning Designations*, in the Land Use Element of the General Plan will be modified/corrected to reflect the addition of "Specific Plan District (SPD)" as allowable zoning to the list of zoning designations consistent with the Medium Density Residential General Plan land use designation.



## 7.4 Zoning Code/ Map Amendments

The existing Zoning classifications, prior to the adoption of the Specific Plan, is R-1-20. The R-1-20 classification shall be repealed within the Specific Plan project area and the Zoning Code/ Map amendment shall indicate the new SPD (Specific Plan District) zoning classification.

All land use regulations, development standards, and other provisions of the Sunrise Assisted Living of Fullerton Specific Plan shall apply, as expressly stated in this plan. For development criteria and regulations that are not amended or superseded by this Specific Plan, the provisions of the Fullerton Municipal Code shall prevail.

## 7.5 Administration and Enforcement

It shall be the duty of the Director of Development Services to enforce the provisions of the Sunrise Assisted Living of Fullerton Specific Plan. All officers, employees, and officials of the City of Fullerton who are vested with the duty of authority to issue permits or licenses shall conform with the provisions of this Specific Plan, and shall not issue any permit or license of approve any use or building which would be in conflict with the Sunrise Assisted Living of Fullerton Specific Plan. Any permit, license or approval

issued that is in conflict with the requirements of the Sunrise Assisted Living of Fullerton Specific Plan shall be considered null and void.

## 7.6 Development Review Procedures/Site Design Review

### Major Site Plan Review

Site Design Review, in the form of a Major Site Plan Review as defined by Chapter 15.47 of the Fullerton Municipal Code, shall be required as a separate but concurrent process with the review and approval of the Specific Plan. Major Site Plan Review will consist of review of the project components by the Staff Review Committee as a non-hearing item and Redevelopment Design Review Committee as a noticed public hearing prior to its review by Planning Commission and City Council.

### Conditional Use Permit

A Conditional Use Permit (CUP) as defined by Chapter 15.70 of the Fullerton Municipal Code shall be required as a separate but concurrent process with the review and approval of the Specific Plan. The Conditional Use permit is required for the project to assure that the degree of compatibility shall be maintained with respect to the particular use on the particular site and that consideration is made with respect to other existing and potential

uses within the general area. Additionally, the CUP recognizes and compensates for variations and degree of technological advancements in processes and equipment as related to the factors of noise, smoke, dust, fumes vibration, odors and hazards. Typically, certain conditions are applied to the use to regulate the operation.

The Planning Commission will review the Conditional Use Permit relative to the tenets of the Specific Plan. As such, any conditions specified under CUP approval will run with the land in perpetuity. Conditional Use Permits are revocable under local ordinances.

### 7.7 Specific Plan Amendment Procedures

The Sunrise Assisted Living of Fullerton Specific Plan may be amended using the same process by which it was approved. Any proposed modifications to the Specific Plan that would substantially alter its intent will be considered amendments to be processed pursuant to Government Code Section 65453.

### 7.8 Project Construction Schedule/Phasing

Sunrise Assisted Living of Fullerton will be constructed in one phase over a 12-14 month period.

### 7.9 Financing and Maintenance of Improvements

Table 5, *Financing and Maintenance*, below outlines the anticipated financing and maintenance of improvements within the project area.

**TABLE 5 - Financing and Maintenance**

Improvement	Financing	Long Term Maintenance
On-site Water System	Developer	Developer
On-site Sewer System	Developer	Developer
On-site Storm Drain System	Developer	Developer
Public Street Improvements (Euclid Street re-striping and public sidewalk).	Developer	City of Fullerton
Multi-use Recreational Trail Construction	Developer	City of Fullerton
Landscaping Public Right-of-Way On-site landscaping	Developer Developer	City of Fullerton Developer





### 7.10 Specific Plan IS/MND and Mitigation Monitoring

The Sunrise Assisted Living of Fullerton Specific Plan has been prepared in compliance with the requirements of the California Environmental Quality Act (CEQA). Pursuant to State and Local CEQA Guidelines, the City of Fullerton prepared an Initial Study/Environmental Checklist. The City determined that the Specific Plan could result in additional environmental impacts, and therefore, required environmental analysis. As a supplement to this Specific Plan, an Initial Study/Mitigated Negative Declaration (IS/MND) has been prepared to respond to the potential impacts as indicated in the Initial Study.

The Sunrise Assisted Living of Fullerton Specific Plan Initial Study/Mitigated Negative Declaration includes an introduction, project description, description of existing environmental conditions, assessment of impacts and mitigation measures as directed by the City of Fullerton, in accordance with CEQA. A mitigation monitoring program has also been prepared to comply with Public Resources Code Section 21081.6, for adoption by the City when they consider approval of the project.

### 7.11 Severability

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application

thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.





# APPENDICES

**SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN**





**APPENDIX A**

SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN

GENERAL PLAN CONSISTENCY ANALYSIS





**A-1. GENERAL PLAN CONSISTENCY**

California Government Code Section 6540-6553 allows for the adoption and administration of Specific Plans as an implementation for elements contained in a jurisdiction's General Plan. State law requires that Specific Plans must demonstrate consistency with goals, objectives, policies and programs of a jurisdiction's General Plan. To ensure the Sunrise Assisted Living of Fullerton Specific Plan is consistent with the City of Fullerton General Plan, a thorough review was undertaken. The following is an analysis of applicable General Plan goals and policies and provides discussion relative to the implementation of the Sunrise Assisted Living of Fullerton Specific Plan.

This section analyzes the goals and policies of the City's General Plan that are most relevant to the Sunrise Assisted Living of Fullerton Specific Plan. Goals and policies in the General Plan that are not applicable to the Specific Plan are not included. Below each of the identified policy statements, a brief discussion of General Plan consistency is provided.

**A. The Land Use Element**

The existing General Plan land use for the project area is Low Density Residential (LDR) while the surrounding land uses vary. The Low Density

Residential land use designation allows uses permitted in the R-1 and Planned Residential Development (PRD) zoning categories. To accommodate the Sunrise Assisted Living Specific Plan, a General Plan Amendment and Zone Change will occur to ensure that the proposed range of uses in the Sunrise Assisted Living project will be consistent with the new Medium Density Residential (MDR) land use designation and Specific Plan District zoning classification.

*Goal LU-1: Land use decisions which are based on careful consideration of public health and safety, community concerns, existing and future envisioned City character, sound economic and resource conservation planning and public input.*

The Sunrise Assisted Living of Fullerton Specific Plan affords additional opportunities to serve the City's elderly population through care and services to assist in providing a healthy, safe environment. The development of the project considers prevailing residential character surrounding the site and expands upon the City's recreational trail resources.

An extensive public outreach program was an integral part of the development of the Specific Plan



and provided opportunities for adjacent residents, elected officials and other stakeholders to provide input into the development of the programming and design of the project site.

**Policy LU-1.1:** *Provide and implement clear, documented procedures, which result in desired land use decisions, incentives, and regulations.*

The development of the Specific Plan, as prescribed by State law, includes the following Chapters:

- Development Plan
- Design Guidelines
- Land Use and Development Regulations
- Implementation

Each of these Chapters provides for clearly articulated land use policy that will ensure that future development of the project site is consistent with sound policy.

**Policy LU-1.2:** *Encourage neighborhood and community involvement in the land use decision-making process.*

Chapter 3.0, *Planning Framework*, of the Specific Plan illustrates the extensive level of community

participation that was an integral component of the land-use decision making process. To encourage community involvement, a series of public meetings and community outreach activities were conducted. Public workshops, community meetings, stakeholder and informal meetings occurred during 2004 and 2005. Local citizen groups, neighborhood groups and associations, local businesses, the Fullerton Chamber of Commerce and other stakeholders have been consulted and contacted regarding the Sunrise Assisted Living of Fullerton project. These outreach activities provided opportunities to educate and solicit community and stakeholder input.

**Goal LU-2:** *Compatible and balanced land uses which are well maintained or revitalized, provide pleasant environments, and adequately serve present and future populations.*

The land uses provided in the Specific Plan provides for compatible design, through the incorporation of a residential development character, similar to and compatible with, those uses surrounding and in close proximity to the site. The incorporation of publicly-accessible trails, sidewalks and streetscape amenities will beautify and enhance the existing environment.



**Policy LU-2.1:** *Plan for a balanced development pattern that includes diversity in employment opportunities, goods and services, residential choices, and open spaces.*

The uses provided in the Sunrise Assisted Living of Fullerton Specific Plan provide for employment opportunities in a variety of professional fields. The Specific Plan also provides additional housing opportunities for the elderly population and those requiring assisted care.

The design of the Specific Plan includes extensive improvements to the City's trail system through the development of an equestrian trail along Euclid Street.

**Policy LU-2.3:** *Encourage the provision of public open space and recreational areas in residential neighborhoods.*

The Specific Plan includes the development of a publicly accessible multi-use recreational trail along Euclid Street and provides expanded recreational opportunities for local residents. The project site also provides accessible gardens and landscaped setbacks along the project frontage to provide additional open space opportunities.

**Goal LU-4:** *Orderly growth and development based on the City's ability to provide adequate transportation and infrastructure facilities.*

The development of the Specific Plan includes the necessary infrastructure improvements to serve the project site in conjunction with the City's existing infrastructure system. All potential infrastructure impacts have been evaluated and the appropriate improvements to mitigate these impacts are an integral component of the Specific Plan. Chapter 4.0, *Development Plan*, of the Specific Plan provides detailed descriptions of the necessary transportation and infrastructure improvements.

**Policy LU-4.1:** *Accommodate population growth to the extent that the community's health, safety, and welfare are maintained, as compatible with the City's character and stated General Plan objective.*

The Specific Plan provides for additional housing opportunities for the City's aging population. The project provides for 68 resident units in a home-like environment with high-quality care for the frail elderly. The project also contributes to healthy, safe living for the frail elderly through personalized assisted living, therapeutic and wellness care.



**B. Circulation Element**

*Goal C-1: A comprehensive street and parking automobile transportation network, which supports the movement of people and goods in a safe and efficient manner using a variety of modes.*

The Specific Plan project site is located adjacent to Euclid Street. Euclid is designated as a major arterial in the General Plan and provides for efficient circulation through the project area. The Specific Plan's parking facilities, ingress/egress, public sidewalks and bus facilities supports the safe and efficient movement of people within and adjacent to the project site.

*Policy C-1.1: Provide and maintain a network of arterial highways and streets to direct and channel non-local and large vehicle traffic as well as to accommodate the internal circulation needs of Fullerton's businesses and residents.*

*Policy C-1.4: Plan and manage public rights-of-way and median islands to provide attractive streetscapes.*

The Sunrise Assisted Living of Fullerton Specific Plan provides for the development of an attractive streetscape through the incorporation of a public sidewalk, street trees, landscaped setbacks and an equestrian trail. The design of publicly-accessible

improvements seeks to provide improved amenities for use by the community establish a design theme that beautifies Euclid Street and expand the connectivity of the local trail system.

*Goal C-2: A comprehensive network of bicycle, hiking, and bridle trails, which safely and conveniently serve the recreation and commuter transportation needs of the community.*

This Specific Plan project area is in close proximity to multiple public transit lines and will provide an additional bus stop adjacent to the project site. Additionally, a multi-use recreational trail will be provided adjacent to the project site and a public sidewalk will be installed. Each of these improvements will provided for enhanced recreational opportunities and access to alternative modes of transportation.

*Policy C-2.3: Insure the provision and maintenance of public sidewalks and walkways where desired in order to facilitate pedestrian mobility and safety.*

The Specific Plan circulation plan includes the development of a public sidewalk on the east side of Euclid Street, adjacent to the project site. No public sidewalk is currently available adjacent to the project site. The installation of internal walkways





that connect with the public sidewalk will further enhance pedestrian mobility and safety.

*Goal C-3: A public transportation system which serves the needs of the community, is accessible to all, and is a viable alternative to the single occupant vehicle.*

The Specific Plan's circulation plan includes the provision of an additional bus stop facility directly adjacent to the project site. Additionally, the project site provides facilities for shuttle van access, pickup/drop-off areas for use by Sunrise residents. The development of public sidewalks and recreational trail provides further alternatives to vehicular travel.

*Goal C-5: A roadway network which supports existing and future land uses with minimal levels of traffic congestion.*

Development of the project will conceptually require restriping of Euclid Street to provide for a right-turn pocket at the project entry and a two-way median turn lane. The improvements proposed for the site mitigate potential traffic impacts, as evaluated in the Specific Plan Initial Study/Mitigated Negative

Declaration. For all improvements identified in the Specific Plan, the applicant will provide for associated fair-share costs.

### C. Housing Element

*Goal H-1: A housing stock of sufficient quantity composed of a variety and range of housing types and costs that enable those citizens who work in Fullerton the opportunity to live here if they choose.*

The 68 resident units proposed as part of the Specific Plan, including single occupancy, shared occupancy and double occupancy units, will add to the City's housing stock. The development will expand the available stock of housing for special needs groups identified in the City's Housing Element and expand the range of choices for the City's aging population.

*Policy H-1.1: Encourage the development of a variety of housing types and costs, for both owners and renters, whereby the widest economic range of housing choice is available.*

The Sunrise Assisted Living of Fullerton Specific Plan will expand the variety of housing types and costs available to Fullerton residents by providing



for assisted living facilities for the frail and elderly and those with Alzheimer's disease.

The 68 units provided by the Specific Plan include floor plans approximately 300 to 500 square feet in size, and provide an ideal environment for assisted living.

*Goal H-3: Housing throughout the City, suitable and conveniently located for households having special needs, such as the elderly, students, the homeless and those of Very Low and Low Income.*

As mentioned above, the Sunrise Assisted Living of Fullerton Specific Plan will expand the variety of housing types and costs available to Fullerton residents by providing for assisted living facilities for the frail and elderly and those with Alzheimer's disease. The facility is conveniently located to nearby services as well as to nearby neighboring residential uses.

*Policy H-3.1: Assistance, where possible, in the development of housing accessible to and usable by elderly and/or disabled persons.*

The Sunrise Assisted Living of Fullerton Specific Plan provides expanded opportunities for the City's frail elderly and seniors with other self care limitations. The proposed project provides housing and care for up to 85 residents and provides a unique environment to address the unique needs of the frail and elderly and those with Alzheimer's disease.

#### D. Community Health & Safety Element

*Goal CHS-1: Efficient, well-equipped and responsive fire and police departments, which offer maximum feasible personal safety and protection from loss of life and property.*

The City of Fullerton Fire Department currently provides fire and paramedic services and City of Fullerton Police department provides police protection to the Sunrise Assisted Living of Fullerton project.

*Policy CHS-1.3: Encourage physical planning techniques which will help prevent accidents, crimes, and fires.*



**Goal CHS-4:** *A community with maximum feasible protection from noise.*

As part of the Initial Study/Mitigated Negative Declaration, a noise study has been conducted for the project site. The appropriate mitigation measure(s), through site design treatments, have been identified to mitigate potential noise impacts to a less than significant level.

**Goal CHS-5:** *A community with maximum feasible protection from seismic hazards.*

The Initial Study/Mitigated Negative Declaration prepared for the Specific Plan addresses the potential exposure to seismic hazards and potential geotechnical hazards. The IS/MND and associated geotechnical investigation have been identified appropriate mitigation through design and construction practices.

**Policy CHS-5.2:** *Take reasonable measures to protect the public from earthquakes through building and planning activities.*

**Goal CHS-6:** *Properly designed and maintained water, utility, flood control, and sanitary sewer systems to meet the needs of present residents, accommodate future growth, protect the environment and afford proper health and safety protection.*

Chapter 4.0, *Development Plan*, of the Sunrise Assisted Living of Fullerton Specific Plan identified necessary public improvements to water, storm drain and sewer facilities. The infrastructure improvements identified in Chapter 4.0 provide for the accommodation of impacts associated with the development of the project site. All improvements shall be installed in consideration of City of Fullerton standards.

#### E. Resource Management Element

**Goal RM-2:** *A combination of public and private open space and parkland conveniently located and designed to be responsive to resident's needs.*

The Sunrise Assisted Living of Fullerton Specific Plan provides for additional open space and recreational resources for residents within the project area and affords the opportunity for adjacent residents to utilize these resources. The



development of a multi-use recreational trail provides further connections with the City's existing trail system. Additionally, passive open space, gardens and landscaped setbacks on the project site provides open space for the enjoyment of project residents and the local community.

**Policy RM-2.1:** *Promote the creation of public and private open spaces throughout the community.*

The Sunrise Assisted Living of Fullerton Specific Plan provides for on-site gardens, walking trails and other usable open space. Additionally, The Specific Plan project area is in close proximity to a number of recreational hiking and bicycling trails, including the *Bud Turner Trail*. The Sunrise Assisted Living Specific Plan shall include the construction a portion of the *Bud Turner Trail* connection, providing local and regional trail connectivity. Sunrise Assisted Living of Fullerton is also in close proximity to numerous other recreational hiking and bicycling trails, including the *Juanita Cooke Greenbelt Trail*, *Horse Alley Trail* and the *Nora Kuttner Trail*.

**Policy RM-2.3:** *Promote safe, convenient, and pleasant pedestrian, equestrian and off-road bicycle travel on an adopted system of recreational trails which*

*encourages the use of related facilities and services, and connects with a designated regional network.*

Euclid Street is designated as scenic corridor in the City's General Plan. Appendix A of the City of Fullerton General Plan, *Scenic Corridor Design Guidelines*, identifies residential and limited commercial uses as provided in the Specific Plan project, as appropriate for scenic corridors.

To preserve the desirable aesthetic quality of this scenic corridor, a public sidewalk, landscaping and recreational trail will be located adjacent to the project along the east side of Euclid Street. Landscape treatment and architectural design will reduce the visual impact of buildings to the adjacent street.

In addition to the special design considerations for the site planning and architectural design, improvements to the streetscape are proposed along this segment of the scenic corridor.

**Goal RM-3:** *Designated scenic and rural roads designed to retain desirable vistas or close range environment and rustic settings.*



**Policy RM-3.1:** *Identify, manage and regulate the roadside of scenic corridors.*

Euclid Street is designated as a scenic corridor. The Specific Plan's development plan provides for design treatment and amenities with the project and adjacent public rights-of-way to enhance and preserve existing view sheds and provide consistency in scale and design with adjacent development. Additionally, the project design and landscaping compliments the objectives of the General Plan through the provision of recreational trails, appropriate fencing and generous landscape setbacks.

The project's site planning considers the preservation of existing views for adjacent development through appropriate setbacks, building heights and landscape treatment.



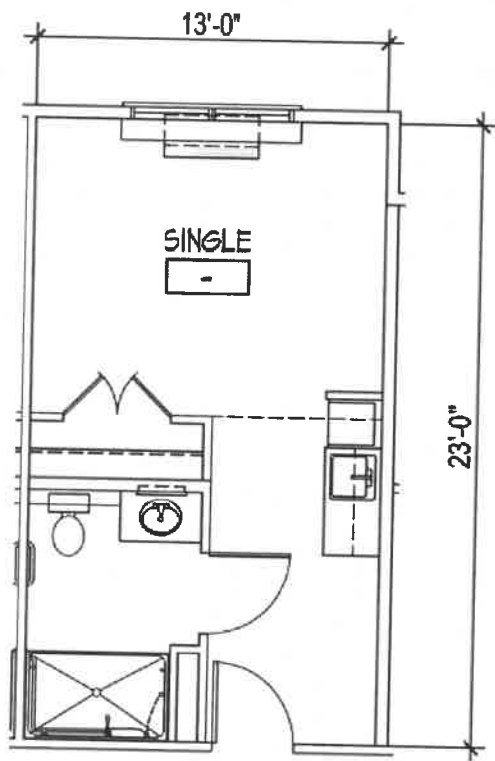


# APPENDIX B

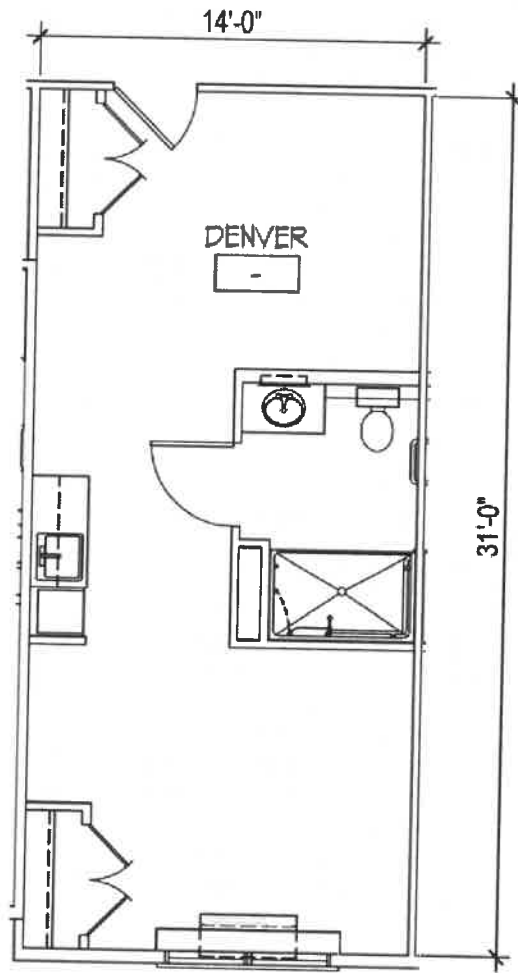
SUNRISE ASSISTED LIVING OF FULLERTON SPECIFIC PLAN

CONCEPTUAL FLOOR PLANS

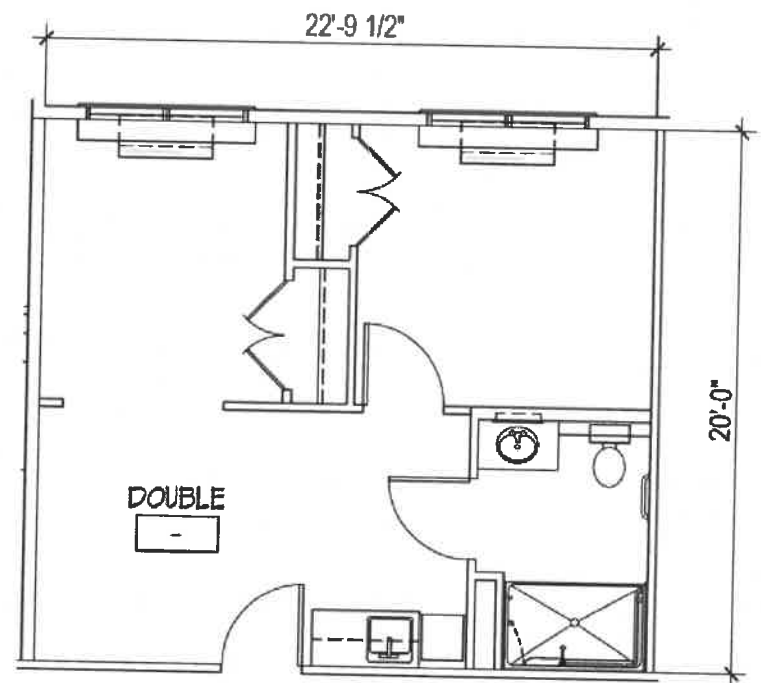




TYPICAL SINGLE PLAN



TYPICAL DENVER PLAN



TYPICAL DOUBLE PLAN

