

IV. GENERAL DEVELOPMENT PROVISIONS

A. PURPOSE AND INTENT

The Imperial Property Specific Plan is designed to promote a quality development through new construction. The purpose and intent of these development provisions is to provide development criteria to guide the developer(s) and the City of Fullerton.

These provisions will serve as the primary mechanism for implementation of these land uses. The provisions contained herein provide an appropriate amount of flexibility to anticipate future needs and to achieve compatibility between land uses. Principal land use designations for the Specific Plan area shall be as follows:

- Single-Family Residential, 5,500 Square Foot Lots (SF-5500)
- Single-Family Residential, 6,500 Square Foot Lots (SF-6500)
- Single-Family Residential, 7,500 Square Foot Lots (SF-7500)

For reference, the locations of these land use designations are shown in Exhibit 5, Section III, page 10.

B. DEFINITIONS

For the purposes of this Specific Plan, the definitions contained in Chapter 15.04 of the City of Fullerton's Zoning Ordinance shall apply.

C. REQUIREMENTS

1. All construction and development within the Specific Plan area shall comply with applicable provisions of the Uniform Building Code and the various related mechanical, electrical, and plumbing requirements, fire and subdivision codes, water and grading ordinances, and Chapter 15.22 (Oil Overlay Zone), as currently adopted by the City of Fullerton Zoning Ordinance.
2. The proposed residential developer shall, together with any required zone change and/or tentative tract map request, submit a plan to the City showing the location of all wells drilled on the property. Any well abandoned prior to the residential development of the area shall comply with Section 3208.1 of the Public Resources Code or be recertified prior to recordation of the final map by the State Division of Oil & Gas as meeting the most current abandonment requirements. No structure shall be constructed directly over an abandoned well. Any lot or parcel

containing an abandoned well or potentially abandoned well shall be encumbered, by the developer concurrent with the recordation of the final map, with a deed restriction specifying the exact location of said well and prohibiting any construction thereupon.

3. The setback requirements are as specified within the development standards for the PRD zoning designation. If not otherwise specified, all setbacks shall be determined as the perpendicular distance from the property line to the exterior wall of the closest structure.
4. If an issue, condition or situation arises or occurs that is not sufficiently covered or provided for to be clearly understandable, those regulations of the City of Fullerton Zoning Ordinance that are applicable for the most similar issue, condition or situation shall be used by the Director of Development Services as guidelines to resolve the unclear issue, condition or situation. This provision shall not be used to permit uses or procedures not specifically authorized by this Specific Plan or the City of Fullerton Zoning Ordinance.
5. This Specific Plan may be amended by the same procedure as it was adopted by ordinance. Each amendment shall include all sections or portions of the Specific Plan that are affected by the change.
6. Whenever a use has not specifically been listed as being a permitted use in a PRD designation within the Specific Plan, it shall be the duty of the Director of Development Services to determine if said use is: (1) consistent with the intent of the zone; and (2) the said use is compatible with other listed permitted uses. Any person aggrieved by the determination may appeal that decision to the Planning Commission.
7. Automotive vehicles or trailers of any kind or type without current license plates that have been abandoned shall not be parked or stored on any property within the Specific Plan area unless it is within a completely enclosed building.

D. PROJECT-WIDE PUBLIC IMPROVEMENTS

The following guidelines apply to specific public improvements designed to enhance the overall quality of the proposed mixed-use development. For example, three peripheral streets will be improved in conjunction with the phased development to improve the visual aesthetics of the specific plan area and the City of Fullerton as a whole.

1. Public Street Improvements

a. Placentia Avenue

From the northwest corner of the project south of Imperial Highway to Rolling Hills Drive, Placentia Avenue shall adopt a "friendly" street theme. This theme will be realized by a curvilinear street design with a 16-foot landscaped median and 19-foot landscaped setbacks along both sides of Placentia Avenue. The landscaped setbacks shall include sculptural mounding, a heavy planting of trees and shrubs and five-foot meandering sidewalks (see Exhibit 15, Section III-E).

b. Kraemer Boulevard

From the northeast corner of the project south to Tri-City Park, the west side of Kraemer Boulevard shall be enhanced by a 19-foot landscaped including sculptural mounding and a heavy planting of trees and shrubs. An eight-foot sidewalk shall be located behind the curb (see Exhibit 11, Section III-E).

c. Rolling Hills Drive

The entire length of Rolling Hills Drive from the western edge of the project to Tri-City Park shall also be improved with a 19-foot landscaped setback, including sculptural mounding and a five-foot meandering sidewalk. Sculptural mounding in the parkway will be low enough to allow exit from vehicles and will not be permissible near the intersection of Rolling Hills and Placentia Avenue for visibility reasons. Parking will be allowed on Rolling Hills except at the intersection with Placentia Avenue. Improvements to the entrance to Tri-City Park from Rolling Hills Drive shall also be made in accordance with development of the Imperial Properties Specific Plan, Phase 2.

E. LAND USE PLAN SUMMARY

Land use designations have been assigned to each planning area identified on the Imperial Property Specific Plan. In addition to land use designation, Table 2 summarizes the number of dwelling units, area in gross and net acres, density per gross acre and total net density by planning area.

The total project area amounts to 163.5 acres. The total includes the proposed single family development as well as the extension of Placentia Avenue and improvements to Rolling Hills and Kraemer Blvd. As defined for Imperial Property Specific Plan, gross acres means gross developable acres which includes all street rights-of-way, the landscaped setbacks along Placentia Avenue, Kraemer Blvd. and Rolling Hills Drive, all interior residential streets, greenbelts, community recreation areas and major slope banks. Major slope banks are defined as those maintained by the established homeowners association. Net acres means net developable acres which excludes the right-of-way of Placentia, Kraemer and Rolling Hills.

TABLE 2
LAND USE PLAN DENSITY SUMMARY BY PLANNING AREA

Planning Area	Land Use Designation	Dwelling Units	Area in Gross Acres	Net Acres	Gross Density	Net Density
1	SF-6500	84	33	32	2.6	2.6
2	SF-6500	27	10	9	2.7	3.0
3	SF-7500	54	19	18	2.8	3.0
4	SF-5500	130	35	30	3.7	4.3
5	SF-6500	89	27	25	3.3	3.6
6	SF-5500	27	11	8	2.5	3.4
7	SF-7500	39	14	13	2.8	3.0
8	SF-6500	24	9	8	2.7	3.0
Subtotal:	SF-5500	157	46	38	3.4	4.1
	SF-6500	224	79	74	2.8	3.0
	SF-7500	93	33	31	2.8	3.0
Subtotal:		474	158	143	3.0	3.3
Internal Loop and Project Entries				13		
Slope Bank maintained by HOA				2		
R/W Placentia, Kraemer, Rolling Hills			6			
TOTAL			164	158		

E. RESIDENTIAL DEVELOPMENT STANDARDS

All uses, development, structures, activities and any other issue or detail shall be subject to all ordinances of the City of Fullerton, including, but not limited to, the PRD Zone, the City of Fullerton Zoning Ordinance, the Fullerton Building Code, and the City of Fullerton Subdivision Ordinance. It is unlawful for any person to erect, construct, enlarge, alter, repair, move, use, occupy, or maintain any building, structure, equipment, or portion thereof within the Specific Plan area or cause the same to be done contrary to or in violation of any provision of this Specific Plan. No person shall violate any of the provisions, or fail to comply with any of the requirements of this Specific Plan. Any person, firm or corporation, whether a principal, agent, employee or otherwise, violating any of these provisions shall be subject to the enforcement mechanisms of the Conditions, Covenants and Restrictions (CC&Rs) to be placed on the property.

1. Purpose and Intent

The purpose of developing three single family residential zones (SF-5500, SF-6500 and SF-7500) is to create a neighborhood with variety and alternatives. It is the intention of the Land Use Plan to offset small lot sizes with proximate access to a system of greenbelt corridors. The land use designation establishes a low density residential component for the Imperial Property with a maximum gross density of 3.0 dwelling units per acre.

2. Permitted Uses

The following uses are permitted in the case of detached single-family dwellings within the PRD Zone:

- a. Detached dwelling units, with open or recreation areas, or both, limited to the common use of the inhabitants of the development and their temporary non-paying guests.
- b. Accessory buildings and structures, including private garages, toolhouses or worksheds, limited to a single story in height.
- c. Additions and patio covers.
- d. Private non-commercial greenhouses, horticultural collections, flower gardens, vegetable gardens and fruit trees.
- e. The following animals may be permitted: two dogs and/or two cats, and other small household pets not to exceed four adults four months of age or more.

- f. Birds, excluding pigeons and doves, kept as household pets.
- g. Home occupations as defined by City Ordinance.
- h. Small Family Day Care homes as defined by City and State regulations.
- i. Recreation facilities, neighborhood, not accessory to a principal use, including tennis, recreation rooms and swimming, where operated as a non-profit corporation for the use of the surrounding residents.

3. **Temporary Uses (term not to exceed one year)**

- a. Temporary tract sales offices, temporary parking compounds for contractors' equipment, but only while the project is under construction.
- b. Agricultural nurseries, as an interim use for the cultivation of landscape materials within the Specific Plan area.
- c. Real estate signs relating to the sale, lease or other disposition of the real property on which the sign is located and which is temporary in nature, and conforms to the provisions of Section 15.49 of the City of Fullerton Zoning Ordinance.
- d. Model homes (temporary real estate offices). The subdivider may construct five (5) or less model homes for the temporary purpose of using the same as displays to aid the subdivider in effecting the marketing of the property. Any of said model homes or model home garages also may be utilized on a temporary basis as a real estate office. The model home real estate office (hereinafter referred to as "model home") temporary use shall be subject to each of the following conditions:
 - i) A model home must be located on a lot established and depicted for an approved tentative tract map encompassing the property in question.
 - ii) The model home must meet development standards set forth in the Fullerton Zoning Ordinance.
 - iii) Subsequent to the recordation of a final tract map encompassing the area of a model home, the parcel of real property upon which the model home is situated and the model home may be sold and occupied as a residence provided that the same complies with all applicable development standards contained in the Fullerton Zoning Ordinance.

V. DESIGN GUIDELINES

The Imperial Property Specific Plan Design Guidelines are statements which express the desired character of future development for the project area. They are the design criteria which will be adhered to with each development proposal within the Specific Plan area, and apply to four main topical areas: architecture, landscape architecture, streetscape elements and signage. The developer of each planning area and land use designation within the Planning areas will be able to draw from this and expand upon these concepts in order to maximize the success of the development consistent with market needs, aesthetic satisfaction, and community goals.

The Design Guidelines are intended to be implemented on a community-wide level. General design statements and guidelines have been established which may be applied site-wide to achieve an overall consistency and quality development on a broad scale for such features as overall landscaping open space and community design guidelines. Included in this level are design standards for community landscape features and streetscapes, down to such details as appropriate building mass and scale. This level also sets forth parameters for architectural design of residential structures.

The purpose of the Design Guidelines are as follows:

1. To provide the City of Fullerton with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein;
2. To provide guidance to City staff, Planning Commission and the City Council in the review of future development projects in the Specific Plan area.

The design guidelines which are contained in this document have been developed as a method of controlling the overall community design statement, applying both to the residential structures and community features. The guidelines seek to achieve a cohesive design fabric. The City of Fullerton Design Review Board shall review and provide the ultimate approval of the architectural style as described below.

A. **ARCHITECTURAL GUIDELINES**

1. **Architectural Concept**

The selection of architectural style is meant to fulfill two specific goals. The first goal is to establish a sense of place within the City of Fullerton. This can be accomplished by utilizing a singular and recognizable architectural style within which all structures, signage and lighting will be designed. Each element of the project will thus have an identifiable relationship with the total designed

environment. The second goal is to respond to the orientation and the warm semi-arid nature of the area. Attractive, durable, high quality materials with sensible attention to maintenance will be used.

In keeping with the general character of the southern California region, all single family residential design will reflect the historical precedents, traditions and climate already existing in the area. The archetype that best meets the goals and needs of the Imperial Property Specific Plan area is a contemporary 'Early California' style. High quality natural materials and finishes will be used to distinguish this development from surrounding developments. Detailing will be applied to accent and enhance the selected style.

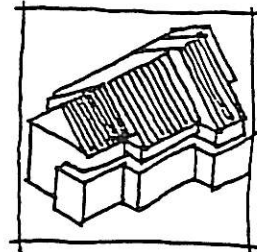
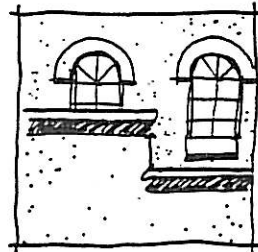
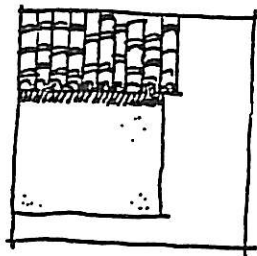
The architectural style will be characterized by rounded arches, clay tiles, stucco finishes and warm earth tone colors. Pastel colors may be used to accent window frames and other recessed areas, but will not be composed into high visibility graphics. Simple cloth awnings of conforming colors may be used in private areas of individual residences.

2. Materials

- Stucco
- Concrete tile
- Pre-cast or tilt-up concrete; textured or exposed aggregate
- Scored split-faced block
- Stone
- Brick
- Arbors and trelliage

3. Building Shape, Height and Massing

The architectural character of the community will primarily be perceived from the street. The aim is to create interest through constancy in the use of architectural elements such as: recessed garage doors, openings, windows, balconies and roof lines.





50' X 110' LOT ELEVATIONS



60' X 110' LOT ELEVATIONS



70' X 110' LOT ELEVATIONS

IMPERIAL PROPERTY SPECIFIC PLAN

City Of Fullerton

TYPICAL ELEVATIONS

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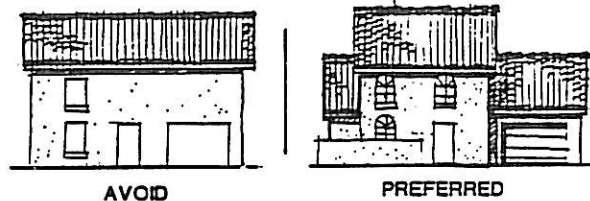


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EXHIBIT 20

V-3

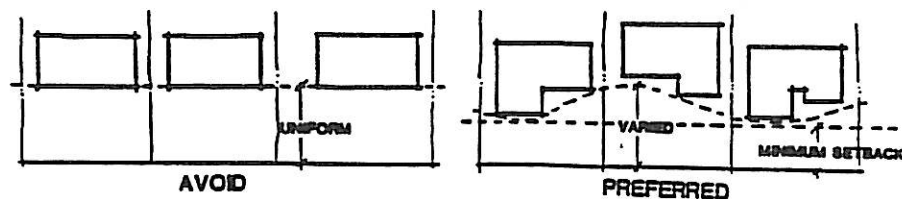
Architectural diversity of the building facades will be accomplished through the introduction of sub elements such as projections, dormers, roof ridge jogs, roof overhangs, building fact trims, bay windows, entry courts, and a variety of roof colors, building colors and textures.



Building mass is probably the most prominent design feature of a project. Imaginative plan geometry increases the sense of individuality for each dwelling units and provides visual interest from the street. Multi-faceted building shapes and interconnected forms may be used to help maintain human scale and intimacy. Two-story residences may have one-story elements or deck forms to help break up the mass, as well as walls enclosing courtyard to the front, rear or side of house. All residences should include variation along the roof ridgeline or ridgelines instead of one ridgeline for the entire structure. Windows in two-story elements of a residence overlooking an adjacent private courtyard are controlled to maintain a sense of privacy.

Buildings shall be appropriate in mass and scale to the lots upon which they are situated. The established floor area ratio for the overall project is as established in the PRD zone.

The design of the residential units should avoid long, unbroken building and garage faces and make offsets and varied setbacks an integral part of the design.



To add to the diversity of the community, architectural elevations should be plotted on the site plan in such a way to avoid like elevations across the street from each other. Floor plans designed with "turn-in" garages should be used whenever possible.

Building masses are limited to two stories or a maximum of 30 feet in height, as measured from finished grade. Architectural structures, such as fireplace chimneys and ventilating fans, are not included in the above height limitations and may project beyond the specified height limit, as permitted by code.

Each cul-de-sac cluster should convey its own blend of building forms. An effort should also be made to group elevations together to create distinct "mini" communities and a perceived community-wide diversity.

Residences on corner lots should have a low profile for both street side elevations.

An emphasis will be given to creating units with a strong indoor/outdoor relationship.

Residential structures shall be coordinated in architectural materials, details and quality with the community features. These community features include: community recreation area, greenbelt entries, benches and BBQ areas.

4. **Window Separations**

Careful attention should be paid to the setback, location and orientation of primary windows (living and family room) and secondary windows (bedroom and kitchen). Setbacks between buildings and window types shall, at a minimum, comply with Fullerton zoning regulations. Regardless of setback, the location of primary and secondary windows opposite each other in adjacent buildings should be avoided.

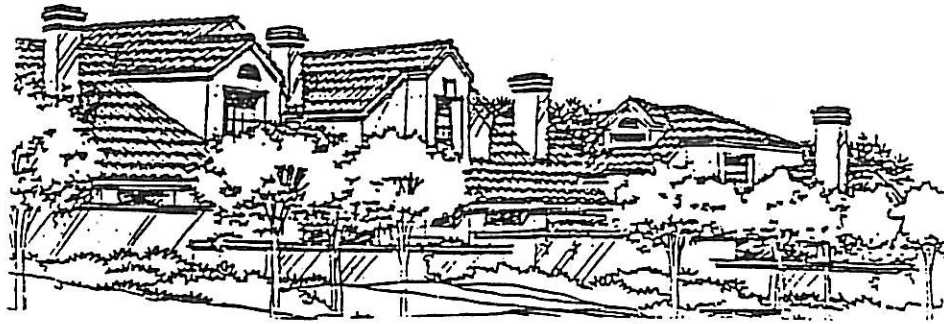
5. **Garage Doors**

The dominant visual impact of garage doors has been carefully addressed.

Wooden and non-metal roll-up garage doors that are recessed into the exterior wall are recommended. Metal doors with significant architectural relief may be permitted. The use of separating columns, overhanging eaves, and other architectural elements to reduce the scale of garage door areas will be used. The color will complement the adjacent wall colors and be consistent with trim colors or finishes. Accent trim is recommended to keep the door consistent with other doors.

6. **Roof Shape and Geometry**

The pitch and form of roofs are a very visible community feature. A range of roof forms and roof pitch can add an appealing visual impact to the streetscape.



7. Entries and Signage Monumentation

Permanent exterior signage within residential zones is specifically prohibited except for project monumentation. The primary project entrance is located on Placentia Avenue and will be announced by a signage monument incorporated into a landscaped setback outside of the publicly dedicated right-of-way. The secondary entrance is located on Kraemer Boulevard and will be differentiated from the primary entry by the type and number landscaping materials.

8. Utilities and Mechanical Equipment

Air conditioners, evaporative coolers, solar collectors with or without attached tanks, parabolic devices, or any other mechanical equipment must be located on the ground and shielded from public view. No such equipment will be allowed to be installed on the roof.

All exterior on-site utilities including, but not limited to sewers, gas lines, water lines, and electrical, telephone, cable TV and communications wires and equipment shall be installed and maintained underground.

All antennas within residential areas shall be restricted to the attic or interior of the residence. Satellite "dish" antennas are prohibited on the roofs of residential structures.

Vents, flues and flashing must be coated with a flat paint to match the color of the roof. Rotating, roof-top ventilators will not be permitted.

On-site underground utilities shall be designed and installed to minimize the disruption of off-site utilities, paving and landscape during construction and maintenance and shall not place excessive burdens upon off-site utility systems during use.

Temporary overhead power and telephone facilities are permitted only during construction.

Exterior transformers, utility pads, cable TV and telephone boxes will be located out of view in public rights-of-way, or screened with walls, fences or vegetation.

Any exterior components of plumbing, processing, heating, cooling, and ventilating systems and their screening devices shall be kept to a visible minimum, shall be installed in a neat and compact fashion, and shall be painted such a color as to allow their blending with the visual background.

Transformers that may be visible from any area of high visibility shall be screened with either planting or a durable non-combustible enclosure (of a design configuration acceptable to the gas and electric utility companies).

B. SITE PLANNING GUIDELINES

Many site development standards are governed to some extent by the provisions of the PRD zone. In addition to those requirements, the following shall apply:

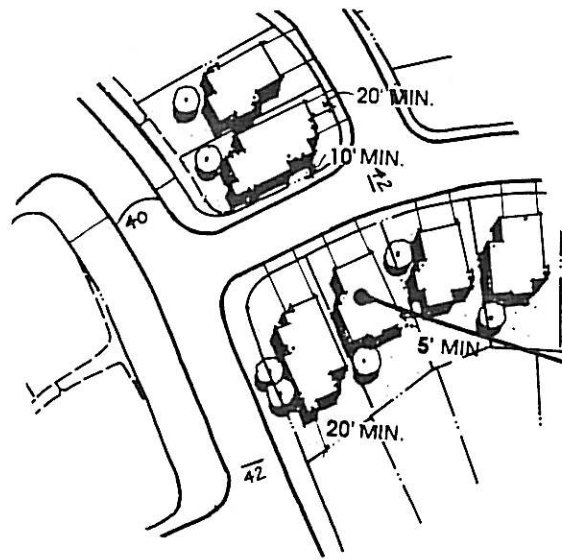
1. Setbacks

Front Yard: The minimum front yard setback as measured from the front property line to the garage entrance shall be twenty (20) feet. Setbacks shall vary between 20 and 25 feet (see Exhibit 20). No more than two (2) side-by-side structures should have the same front setback measurements.

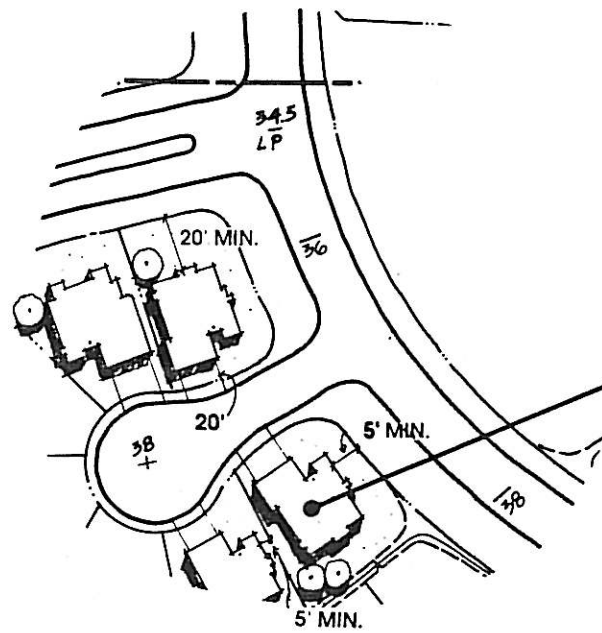
The driveway slope shall not exceed an average grade of twelve percent (12%).

Side Yard: The side yard setback shall be five (5) feet from the building to property line. The side yard setback on a corner adjacent to either a fifteen (15) foot or thirty-five (35) foot parkway shall also be five (5) feet. Side yard setbacks on corner lots adjacent to ten (10) foot parkways shall be ten (10) feet measured from the building to the property line. Side yards abutting rear yards shall have a thirty (30) foot separation. Fireplaces may project a maximum of 2 feet into setback area. A building shall setback not less than three (3) feet from the top or toe of any slope bank and shall be consistent with geotechnical and soil report recommendations.

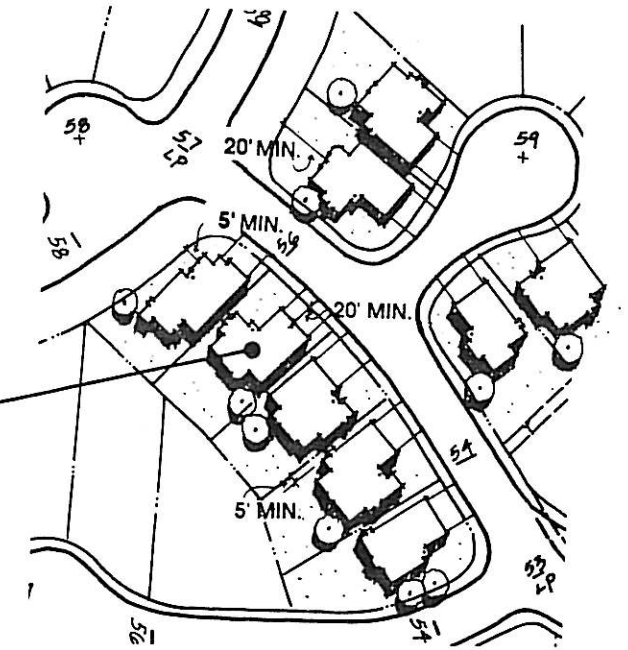
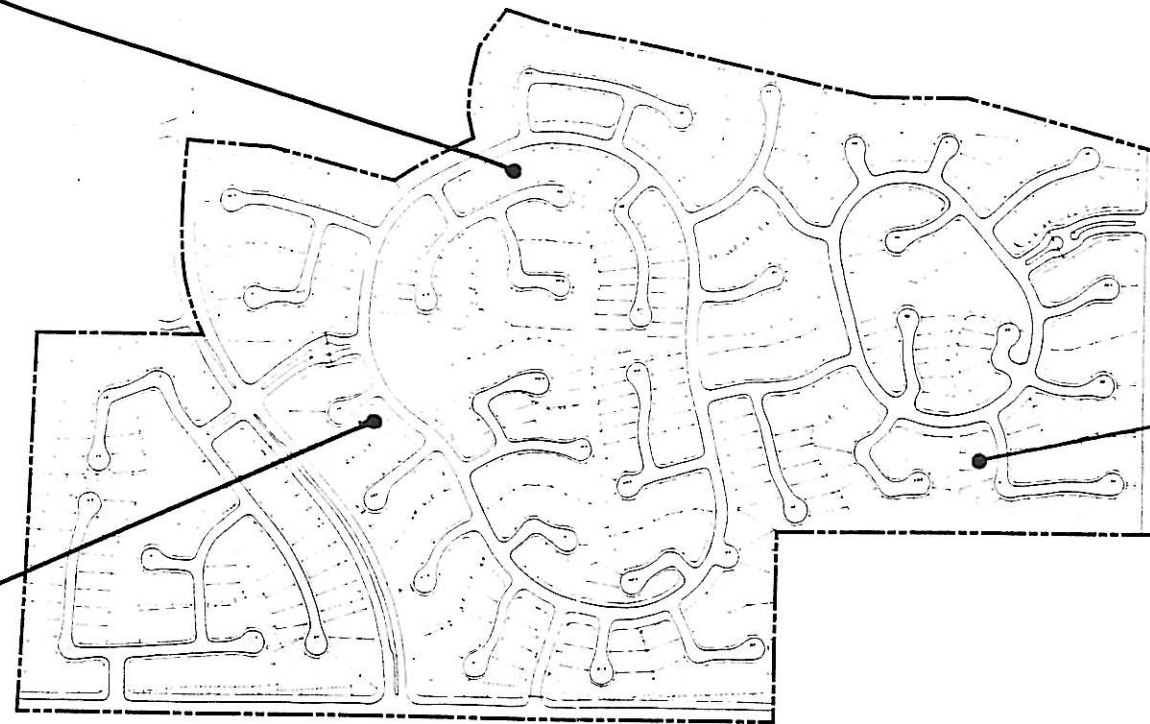
Rear Yard: Minimum yard depth shall be twenty (20) feet from building to rear property line; the minimum distance between buildings on a rear to side yard condition shall be thirty (30) feet. Detached accessory structures (limited to a single story) may project within five (5) feet of the rear property line, provided that the building coverage of the main building and any accessory buildings shall not exceed twenty-five (25) percent coverage of the required rear yard area.



50' X 110' LOT CONFIGURATION



70' X 110' LOT CONFIGURATION



60' X 110' LOT CONFIGURATION

IMPERIAL PROPERTY SPECIFIC PLAN

City Of Fullerton

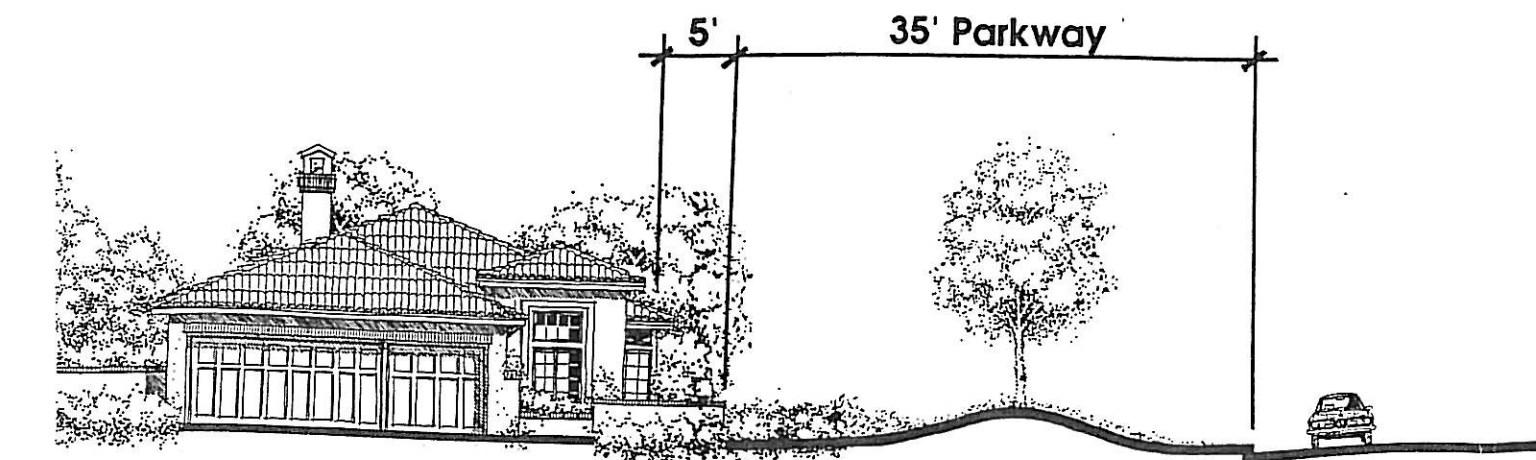
LOT CONFIGURATIONS

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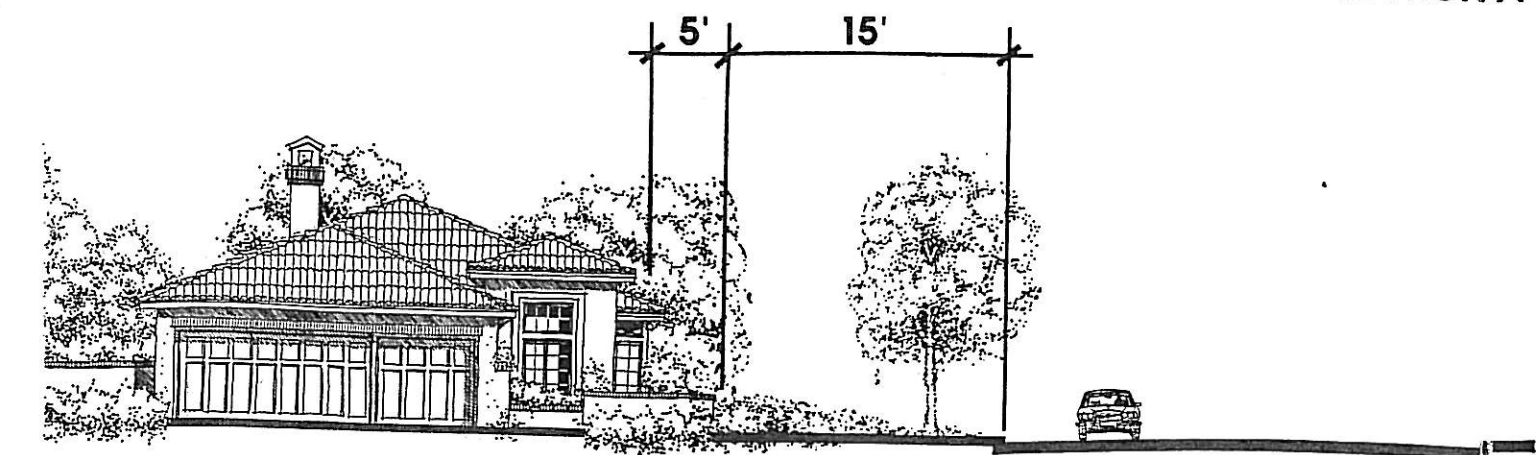
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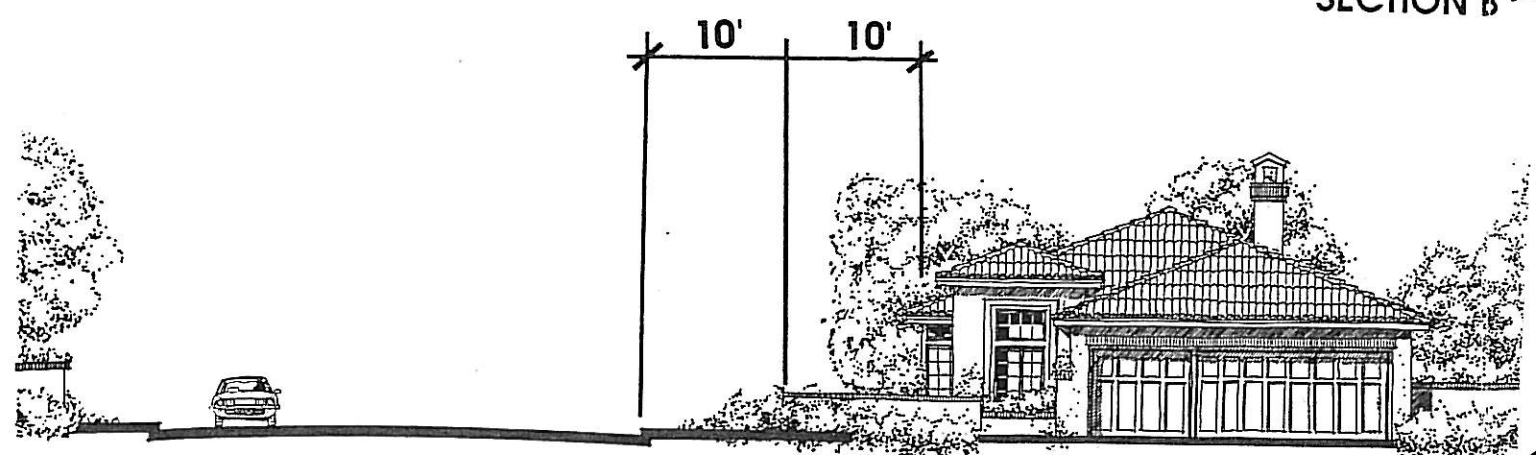
EXHIBIT 21



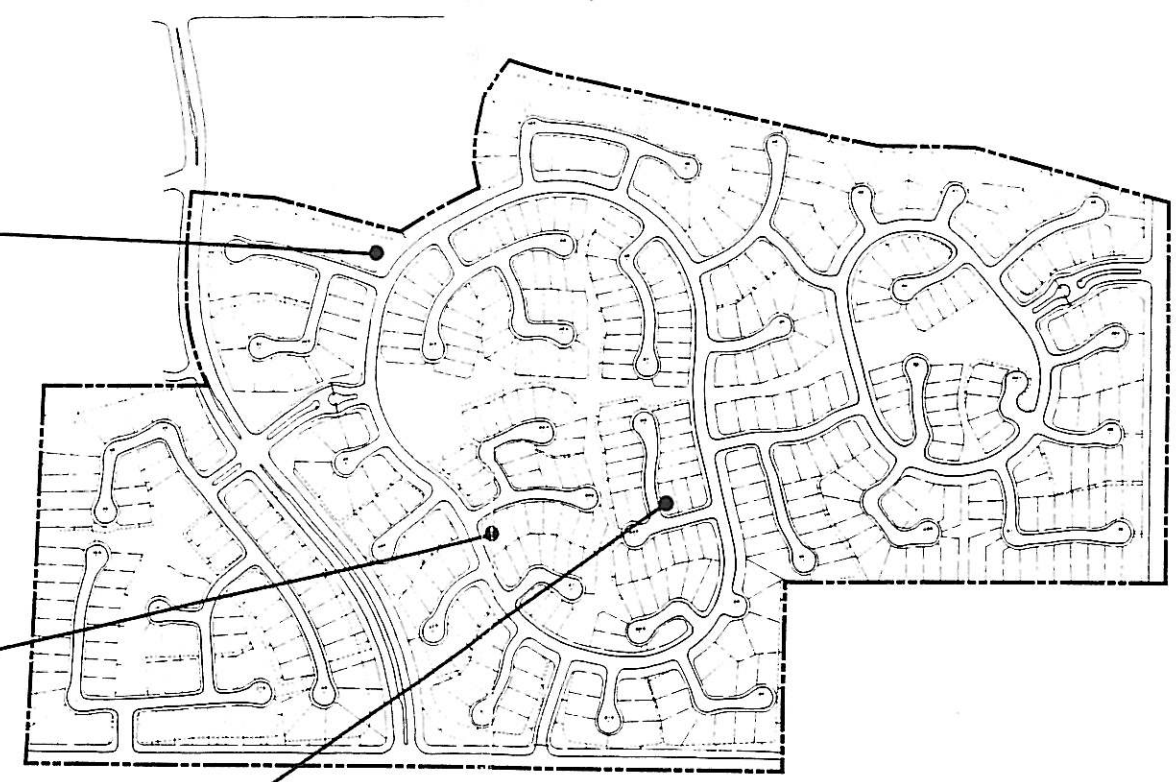
SECTION A



SECTION B



SECTION C



IMPERIAL PROPERTY SPECIFIC PLAN

City Of Fullerton

SIDE YARD SETBACKS

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EXHIBIT 22

2. **Projections into Required Yards**

The following minimum distances shall be maintained between buildings, and shall be used in conjunction with required side yard setback.

- a. Decks, porches, terraces and exterior steps less than thirty six (36) inches in height may project into minimum front and rear yards, provided that,
 - i) Such improvements shall not substantially alter drainage as shown on approved grading plan;
 - ii) Such improvements shall not project within five (5) feet of any front or rear property line.

- b. Architectural projections such as eaves, cornices, canopies or cantilevered roofs shall maintain at least a six-foot, eight-inch (6'-8") foot clearance with the ground.

Such architectural projections may project into minimum side yard setbacks as follows:

- i) Two (2) feet into minimum side yard setback provided that the minimum distance between eaveline or other projections shall not be less than six (6) feet between any projection on an adjacent lot.

Such architectural projections may project into minimum rear yard setbacks as follows:

- ii) Architectural eave overhang may project two (2) feet into a five (5) foot setback provided building setback is maintained at five (5) feet from property line.

Such architectural projections may project into minimum front yard setbacks as follows:

- iii) Four (4) feet into minimum front yard setback provided that such projections shall not be within fourteen (14) feet of any front property line.

- c. Chimneys, fireplaces and other minor architectural features may project into any minimum setback as follows:
 - i) Two feet (2'-0") maximum into side yard setback.

3. **Lot coverage**

Lot coverage shall not exceed 37.5 percent for lots upon which one-story dwelling units are constructed and 35 percent on all two-story lots (with lot coverage defined as the ground floor "footprint" area including permanently covered outdoor areas, divided by the lot area).

Pad sizes will be precisely determined on the Final Tract Map, but shall in no case be less than 5,500 square feet.

4. **Density**

The maximum number of units allowed by the Imperial Property Specific Plan shall be 474 single-family detached dwelling units resulting in a gross density of 3.0 dwelling units per gross acre. No lots established by this Specific Plan shall be further subdivided. Approximately 13 percent of the site area has been devoted to greenbelts, expanded parkways and recreational centers.

5. **Outdoor living space**

A minimum of 1,000 square feet of usable open space shall be provided on each lot calculated as follows:

- a. Landscaping, recreational facilities, open patios, decks, terraces, trelliswork, small decorative objects and other such structures intended for outdoor living may be included within the required outdoor area.
- b. An area of common usable open space shall have a minimum dimension of at least ten (10) feet.
- c. Slopes in excess of ten (20) percent shall not be included in the calculation of usable area.

C. PARKING GUIDELINES

The automobile parking facilities required by this section shall be provided and permanently maintained as such unless and until substitute parking facilities have been provided which are in full compliance with the provisions of this section. The parking standards contained within Section 15.17.060 of the Fullerton Zoning Ordinance and the provisions of this section shall apply to all applicable construction projects within the Imperial Property Specific Plan area.

1. Vehicular access to arterial streets and highways will be permitted only in accordance with driveway locations and access design to be approved by the Director of Engineering and Community Development.
2. No vehicle parking is permitted within a required front yard except on a surfaced driveway. Parking on lawns or other landscaped areas is prohibited.
3. At least two (2) enclosed parking spaces shall be provided for each single-family residential unit.
4. Garages shall be enclosed on three sides and equipped with a door for the vehicular entrance on the fourth side.
5. Recreation vehicle parking is prohibited within the Imperial Property Specific Plan area.

D. SIGNAGE GUIDELINES

Signage is an important identifying element in a community and provides a sense of visual and aesthetic continuity. When properly conceived and executed, a sign program can ensure that signs will perform more than the basic function of providing information and direction and convey a high-quality visual environment throughout the community. Through an assurance of signs which are well-designed and pleasing in appearance, a sign program will provide incentive and latitude for variety, good design relationships and spacing.

In order to maintain and emphasize the connection between the Imperial Property and the City of Fullerton, sign guidelines for the Specific Plan will be in accordance with Sections 15.49.010 - 15.49.160 of the Fullerton Zoning Ordinance. These regulations are intended to provide equitable standards for the protection of property values, visual aesthetics and the public health, safety and general welfare. For purposes of this Specific Plan, the definitions contained in Section 15.49.070 of the Fullerton Zoning Ordinance shall prevail.

1. General

- a. No sign shall be erected, re-erected, constructed or altered until a sign permit has been issued by the City of Fullerton. Refer to Section 15.49.080 of the Fullerton Zoning Ordinance for a list of signs not requiring permits.
- b. All permanent signage shall be architecturally integrated with the project it identifies, utilizing the same or similar materials as are used on the exterior of the primary structure(s).
- c. Signage text shall be concise, including only minimum text, and should be legible under normal viewing conditions.
- d. Signage size and location shall not impair or interfere with traffic visibility or public safety. The number and size of signs should be controlled so as not to create visual clutter or aesthetic blight.
- e. The exposed backs of all permanent signs visible to the public shall be suitably covered, finished and properly maintained.
- f. Street numbers of all buildings shall be prominently located and of sufficient size to be easily read from the street by public safety personnel (i.e., police, fire, ambulance).

2. Specific Limitations

- a. Five (5) non-illuminated subdivision directional signs located 400 feet from an intersection to advertise the sale of property within five miles of a particular subdivision, a maximum of two on any corner, four on any intersection. The maximum size for each sign shall be fifty (50) square feet each and shall not exceed fifteen (15) feet in height. Signs permitted for two years or until the last unit first sold, whichever occurs first.
- b. Non-illuminated on-site subdivision signs shall be permissible to advertise the sale of property within the subdivision. A total of 200 square feet of signage is allowed provided no one sign exceeds 100 square feet in size or fifteen (15) feet in height. Signs permitted for two years or until last unit first sold, whichever occurs first.
- c. Two (2) non-illuminated identification signs to advertise the project entrance to be located at said street entrance not to exceed fifteen (15) square feet per face.
- d. Four (4) flags and pennants per model complex to advertise sale of property within the subdivision restricted to the main entrance. Flags and pennants shall not exceed eight (8) square feet or fifteen (15) feet in height.
- e. One (1) non-illuminated nameplate not exceeding one (1) square foot indicating the name and/or address of the occupant is permitted.
- f. One (1) non-illuminated sign not exceeding four (4) square feet in area to advertise the lease, rent, or sale of the premises is permitted. Such sign shall be located not closer to the front property line than five (5) feet nor closer to any side property line than ten (10) feet.

E. LANDSCAPE GUIDELINES - CONCEPTUAL PLAN

The purpose of the landscape guidelines is to provide design criteria for the landscape treatment throughout the Imperial Property Specific Plan area as a whole, and to refine specific landscape zones within the project. The landscape is a crucial element in establishing a total theme while at the same time providing a pleasing and unified environment for the project site. Landscaping enhances the visual quality and unity of the differing building types. By planning the landscape, overall consistency can be obtained and a cohesive unified link throughout the development can be achieved.

The landscape guidelines shall be used by the City and developers as a means of achieving the following project goals:

1. Ensure that landscape considerations include low water consumption and erosion control.
2. Define specific plant materials and groupings to achieve community identity.
3. Enhance major view corridors on- and off-site.
4. Re-establish a natural appearance where terrain has been modified for circulation and development.

To help achieve project distinction, a landscape plan has been prepared which reflects careful consideration of the need to conserve water. The use of grass has been limited to specified turf play areas. Instead, decomposed granite, drought-tolerant shrubs and mounding shall form the base of the landscape plan with a heavy planting of trees, both young and mature, to provide a canopy of greenery accented by flowering shrubbery.

The Conceptual Landscape Plan consists of a description of the landscape concept and illustrations of its implementation as it relates to street treatments, greenbelts, expanded parkways, recreation areas, project entries and transition edges. A fence and wall plan classifies the fences and walls proposed for the project and recommends placement, height and materials of all required fences and walls within the Imperial Property Specific Plan area. The Landscape Plan, including designated recreation areas, is illustrated on Exhibit 23. A verbal description of the project-wide landscape plan coupled with summaries of the various plan components are detailed below.

1. Landscape Concept

The overall landscape theme for the Imperial Property Specific Plan area shall represent an 'Early California' scenario, featuring a palette of palms, evergreen trees, pepper trees, mass shrub plantings, and open maintained areas of decomposed granite to serve as a base for the shrub plantings and as pedestrian

pathways through the greenbelt system. The landscape theme is intended to support the architectural guidelines by defining spaces, creating moods, providing screens and buffers, where needed, and views where opportunities exist. The landscape concept will also serve to augment any sound attenuation efforts made with the hardscape and landform elements.

The areas to be addressed in the Conceptual Landscape Plan include Placentia Avenue, Kraemer Boulevard, Rolling Hills Drive, internal streets and cul-de-sacs, project entries, and throughout the greenbelts, expanded parkways and community recreation areas. Plant materials will be used to help minimize potential problems related to drainage, erosion, slope stability and fire.

The most dominant feature of the landscape program shall be the "Urban Forest" planting theme, which is utilized along major streets at the project perimeter, on internal loop roads, and throughout greenbelt areas of the project. The visual appearance of the urban forest will be of densely planted thickets of trees with informal shrub masses below. This planting theme is intended to soften and screen project perimeter walls, architectural roof lines beyond, and lend a distinctive forested feeling to the project as a whole.

Another distinctive landscape component is the use of decomposed granite as a major element in the landscape. Along internal loop roads and throughout the greenbelts, decomposed granite shall be used in lieu of massive grass planting. Informal shrub plantings, header board and/or walk-on-bark mulch shall be used to define the meandering pathway edges during the initial stages of shrub growth. Advantages to this method of planting include: water savings due to elimination of large expanses of turf, the use of drip irrigation on shrubs and trees for additional water conservation, savings in on-going maintenance costs by eliminating extensive use of turf, and increased percolation into groundwater due to permeable decomposed granite paving.

The street tree concept utilized on internal cul-de-sacs and connectors incorporates a double row of trees to create a canopy over the sidewalk. Within the four foot parkway, decomposed granite and walk-on-bark mulch will be used as a groundcover, with low shrubs beneath.

The landscaped median shown on both peripheral and interior streets will be planted with low growing, shrubby groundcovers and trees. On peripheral streets, median trees will be selected from the street tree plant palette and will be planted in clusters of three to five trees each. Depending upon the mature canopy of the trees selected, the clusters will vary between 40 feet to 60 feet on center. On interior streets, the median trees will be selected from the accent tree plant palette

and will vary between 20 feet to 40 feet on center depending again upon the mature canopy of trees selected.

A palette of accent trees has been included for use at project and greenbelt entries, features use areas, and building entries. These trees provide a contrast in form, texture and color from the adjacent urban forest and structure tree themes.

For functional reasons, a buffer zone and slope plant palette are necessary. The buffer zone planting will be used to alleviate negative visual and noise impacts caused by commercial or high-use adjacent uses. The slope palette will provide for stabilization of 2:1 graded slopes. Additionally, plant palettes for shrubs, vines and espaliers, annuals and perennials have been included. These are intended to show a palette which uses a combination of drought-tolerant and low maintenance plants, as well as seasonal change, flower color and function uses such as screening and delineation of spaces.

2. Street Treatments

The landscaping treatment of the peripheral and internal streets is a vital component to the overall Land Use Plan. The street treatment sections schematically illustrate the relationships of street elements such as landscaping, sidewalks, parkways and perimeter walls. Sidewalks on Placentia Avenue and Rolling Hills Drive are separated from the street by a 5-foot minimum parkway. Any sculptural mounding within the parkway must be low enough to allow exit from vehicles. Mounding will not be permissible near intersections for visibility reasons. The mounding will increase safety along the pedestrian corridors as well as create a more aesthetically pleasing and enclosed walkway system. On peripheral streets and expanded parkways, the sidewalks meander through the landscaped setback.

The streetscape planting concept demonstrates a very dense planting style or urban forest. It incorporates densely planted thickets of trees placed informally within the landscape easements. Low-growing, drought-tolerant shrubs will be planted in decomposed granite beneath a canopy of trees. Where a slope condition occurs, shrubs will be planted within a slope stabilizing ground cover. Peripheral and interior streets with a landscaped median will be planted with low-growing, shrubby ground covers and trees. Median trees will be selected from the street tree plant palette located at the end of this section. Cul-de-sacs will have a more traditional landscape design with a double row of trees planted at fifteen feet (15') on center with shrubs planted in decomposed granite below. Refer to Street Treatment Plant Palette.

3. **Greenbelts, Expanded Parkways and Community Recreation Areas**

The intent of the greenbelt sections is to schematically show the relationships of private lots to the greenbelt, its amenities, and the centralized recreation area. Within the greenbelt system, decomposed granite will be used with informal massing of shrubs to delineate the pathway. The urban forest planting theme will also be carried throughout the greenbelt with informal thickets of trees planted within the shrub masses.

The decomposed granite pathway shall connect points of access and recreational amenities within the greenbelt. A collection of recreational amenities are proposed: seating areas, BBQs and tables, tennis courts, sand volleyball courts, an exercise circuit, and areas of turf for recreational use. The conceptual relationship of these amenities to the greenbelt system is depicted in the overall Landscape Plan, Exhibit 23. In cases where lots are adjacent to the greenbelt, lockable gate access is provided for each homeowner.

The expanded parkway is also included as a part of the project greenbelt system. This area will also be utilized for circulation and will include paths for walking and jogging/cycling. Refer to Greenbelt, Expanded Parkways and Recreation Areas Plant Palette.

4. **Transition Edges**

Transition edges represent areas of the land use plan which necessitate additional plantings to screen undesirable noise and views caused by adjacent uses. There are three transition edges. They include the proposed single family residential and existing commercial, the proposed multi-family and single family edge, and the multi-family and proposed commercial/professional center. Where a buffer zone is needed, a combination of walls, trees and shrub planting is indicated to screen. The following transition edge sections illustrate the correlation and treatment between the various land uses. Refer to Buffer Zone Plant Palette.

5. **Project Entries and Monumentation**

The intent of the signage guidelines is to establish an identity for the project and to provide a coordinated graphic system which unifies the overall project identity. Detailing and style shall relate to the architectural character of the project. Monument walls are proposed for each side of the entry drive at the primary and secondary project entries. No signage will be allowed in the public right-of-way on Placentia Avenue, Rolling Hills or Kraemer Boulevard. Monument walls shall incorporate muted tones, with variations of white or earth tones. Bright colors shall be used sparingly for accentuation of lettering and trim pieces. All proposed

color schemes shall be designed to relate to other signs, graphics, and color schemes in the vicinity.

Plant materials shall be designed to enhance and backdrop project signage. Primary and secondary entries will be differentiated by a variation in the number of palms and accent trees used. Refer to Accent Tree Plant Palette.

6. **Wall and Fences Plan**

The purpose of the fence and wall plan is to establish a cohesive neighborhood environment that complements the architectural character of the development. Colors and types of wall and fencing materials will be compatible with the proposed use and constructed of building material which complements the selected architectural style. The final style shall be determined during review of the landscape plans and the wall and fence concepts established within this Specific Plan are preliminary only. These wall and fence guidelines have been written to define a certain level of quality. Design flexibility and change is anticipated.

The project perimeter walls are designed to alleviate noise from street traffic and adjacent land uses. A dense buffer of trees and shrubs will be planted in conjunction with walls to provide additional screening at sensitive areas. Refer to Urban Forest and Buffer Plant Palettes for specific plant materials. Berming will be used to raise walls to acceptable heights in noise sensitive areas. The project perimeter walls will be six feet in height and have a stucco finish with plant-on pilasters on maximum 100-foot centers. The height range for project perimeter walls, including berms, shall be six feet to ten feet (6'-10'). The following guidelines apply:

- a. All fencing and walls are to be provided by the builder of each Planning Area at the time of development.
- b. The perimeter project walls will be built in accordance with the phasing of development to buffer the adjacent land uses for privacy and sound attenuation (see Exhibit 47 of Section V-D below).
- c. Walls along public streets are to be screened and softened with landscaping such as vines, hedges and trees.
- d. Walls or fences can occur at all property lines but will be spaced at least ten feet from curb of any interior street. Front yard walls will not exceed thirty six inches in height for solid structure, hedges and open work fences. Side and rear yard walls shall not exceed a height of six feet.

- e. Chain-link fencing is prohibited except for tennis courts and other similar recreational uses.
- f. Joints and weep holes shall be placed in walls as required by a structural engineer.

7. **Planting Program**

Decomposed granite pathways, 10 feet wide, shall be wet rolled and water settled to provide compaction. Raking or low powered blowers shall be used once every two weeks to keep pathways clear of trash and leaf litter. At the same time, all trash and objects other than natural leaf or flower litter shall be removed from the mulched area. Pathway width may vary from a four-foot minimum to a 10-foot maximum. In the initial stages, the pathway shall be defined by a walk-on bark mulch in all areas outside the 10-foot pathway. A redwood headerboard may also be used to define the edges of the decomposed granite pathway. Eventually, the shrub plantings will fill in to cover the bark mulch and define the pathway edge. Decomposed granite pathways are recommended throughout the greenbelt areas. Along perimeter public streets, concrete sidewalks may be substituted for granite pathways. In this case, decomposed granite and walk-on bark mulch shall remain as a ground cover.

Walk-on bark mulch shall be used as a ground cover throughout all planting areas. Natural leaf and flower litter shall remain to create a continual mulching process. All trash and objects other than natural litter shall be removed from the mulch once every two weeks as needed. Until the shrubs have matured to cover the bark mulch, additional applications of walk-on-bark may be needed to maintain a minimum mulch depth of two inches.

Mounding and spreading shrubs shall be planted within the bark mulch and shall be watered by drip irrigation. Refer to Landscape Program, Shrub Palette for shrub specifics.

Trees shall be planted within the bark mulch and shall be watered by drip irrigation. Refer to Landscape Program, Urban Forest Tree Palette for specific tree types. All trees planted within the public right-of-way and landscape setbacks shall have the approval of the City of Fullerton Maintenance Department.

Where a concrete sidewalk is desired within the decomposed granite planting area, a few options are possible. The concrete sidewalk may be set within a band of decomposed granite, which varies from one- to five-feet wide at the sidewalk edge and acts as an edging to the walkway. The sidewalk may alternatively be set within bark mulch ground cover, without the use of decomposed granite.