

**August 2011**

# **Citrus Park Specific Plan**

**Prepared For: City of Fullerton**

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**ATTACHMENT 2  
Ordinance No. 3175**

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## 1.0 EXECUTIVE SUMMARY

Change is the one human constant. As socioeconomic factors change in the Southern California region, it is imperative that municipalities recognize the importance of adjusting to new needs of the community at large. The City of Fullerton, through its General Plan, does understand the importance of being nimble in this economic environment. As an example, the main purpose of this specific plan is to provide housing that is affordable and accessible to first time home buyers in the City of Fullerton by converting what has been a commercial use into a new Low-Medium Density Residential (LMDR) use. The entitlement proposal includes a request for a General Plan Revision to add the Specific Plan District (SPD) as a zoning classification that is consistent with the proposed LMDR designation. The intent of this specific plan is to transform the subject site from the current commercial use to a new residential use, and, in the process, adhere to the goals and policies outlined in the General Plan.

The Citrus Park Specific Plan focuses on a property located on a 4.81 acre parcel at 626-700 S. Euclid Street in the City of Fullerton designated Redevelopment Project Area #4, ¾ of a mile north of the 91 Freeway. The site is located on the east side of Euclid Street between Orangethorpe Avenue and Valencia Drive. The specific plan will consist of 38 single family detached and

21 townhome style condominium residential units. The site plan includes 4 floor plans consisting of 3 to 4 bedrooms and various architectural features and color schemes that will be offered at market rate prices. The plan also consists of a park, site landscaping, private yards, neighborhood connectivity, and guest parking that exceeds City of Fullerton standards for a typical residential zone. The site will be maintained by a homeowners association in the long term.

Due to the location of this site and what is proposed to be built on the site, the SPD zone became a necessity in order to ensure the proper planning of this community. Primarily, it is recognized that this site is located in a City designated redevelopment area and included as part of the proposed Downtown Core and Corridor Specific Plan. The City of Fullerton has initiated the planning process for the long term development of designated major corridors throughout the city, including Euclid Street. This proposal will enhance the Euclid Street corridor and will meet the intended vision of the City of Fullerton.

Secondly, the site and areas peripheral to the site is located in a mixed residential and commercial area that is currently in transition. The Corridor Specific Plan will help to facilitate this transition.

Lastly, the proposed plan offers two residential housing types, attached and detached, in a new subdivision,

which is not contemplated within the confines of the existing zoning code. By way of the specific plan process, the plan will be designed to accommodate a mix of the two housing types. Design standards, such as density, architectural features, setbacks, and parking requirements, will be molded to be consistent and compliant with the General Plan. The plan also addresses City identified issues, such as how the streetscape will look along Euclid Street at project build-out and how internal and external pedestrian connectivity will be established through proper site planning.

In order to produce a plan that meets public expectations, the developer has met with City staff several times in an effort to collaborate on the components of this project. The plan incorporates major concepts that City staff suggested, resulting in a site plan that all parties will be proud of.

The development will take form through the adoption of the specific plan. The specific plan meets all regulatory guidelines as prescribed by the State of California. As stated in *The Planner's Guide to the Specific Plan* written by the State of California Governor's Office of Planning and Research, "a specific plan is a tool for the systematic implementation of the general plan". This specific plan will take the General Plan policies into account and produce a project that is consistent with the vision of the City of Fullerton.

## 2.0 INTRODUCTION

### 2.1 Purpose and Intent

The Citrus Park Specific Plan will serve as a planning and regulatory tool for the orderly development of a project that will provide 'for sale' homes to the workforce housing buyer in a manner that is consistent with the goals and policies of the City of Fullerton General Plan. Providing homes to first time homebuyers meshes well with the City of Fullerton General Plan Vision Statement by enhancing its various perspectives of:

- A Physical Place;
- An Economic System;
- An Environmental System, and;
- A Symbol

This plan meets the perspective of A Physical Place by enhancing the functionality of a site in an urban area through strengthening the mix of residential housing stock and providing access to open space and transportation alternatives.

Further, the plan makes the City Economic System perspective more viable by providing housing which is affordable and accessible to the population of the City of Fullerton.

The Environmental System perspective is achieved by responsibly placing urban living in a location that can access public and private services by using modes of transportation other than a private automobile.

Lastly, when all of the above mentioned aspects of the project are established, it is expected to bring new life to the street and serve as a catalyst for enhancing the pedestrian environment, which fulfills the final perspective of 'A Symbol' found in the City Vision Statement of the General Plan.

The primary need for a specific plan is for the incorporation of two residential housing types in a new subdivision. This specific plan establishes an environment where both housing types can coexist and, at the same time, initiate the City of Fullerton vision for a new urban corridor along Euclid Street. The plan integrates two residential building types with common vehicular access and open space facilities. The plan also allows for appropriate orientation of townhomes along the exterior urban edge (Euclid Street) and provides for single family homes interior to the site. The new neighborhood will provide market rate, work force housing in a single family detached and attached townhome setting. This plan establishes the overall land use concept and defines the development regulations, requirements, and design guidelines for the development of the residential use.

With the proposed General Plan Amendment, the specific plan will be consistent with the City of Fullerton General Plan and many of the standards found in the City of Fullerton Zoning Code.

## 2.2 Development and Conservation

Through the course of conceptual site plan design, the developer met with City staff on multiple occasions and incorporated major concepts that were suggested.

Primarily, the site plan includes attached residential housing along the property frontage, which is a concept that the City would like to see continue along the Euclid Street urban edge.

Secondly, the site plan provides for pedestrian connectivity internal to the site and external connectivity to adjacent neighborhoods, schools, and parks via adjacent City sidewalks and the existing alley at the southwest corner of the site. In theory, neighborhood connectivity provided by way of pedestrian pathways will reduce the amount of vehicle trips generated from this site.

Lastly, parking is a concern shared by all parties. The community is designed to include off street parking only. Besides the two car garage available to each unit, guest parking will be established by way of numerous parking

bays within the community along the private street as well as enough space for two cars to park in the driveway in front of the single family detached unit garages. In addition one of the townhome plans will provide for a third parking space in the garage in a tandem configuration.

From a conservation perspective, the developer will adhere to all applicable building codes and regulations during the construction process. The developer will provide manuals of instruction to the home buyers describing how the buyers can efficiently use their home and appliances.

Besides conservation in the homes, the site will be designed to conserve as well. Currently, there is no pervious area on the site to collect storm water. Not only will the site create more pervious area after completion, but all drainage systems will comply with existing storm water quality rules and regulations.



## 2.3 Location and Setting

The subject site is located in an established urban setting in the City of Fullerton, in northern Orange County, California. Fullerton is located approximately 22 miles southeast of metropolitan Los Angeles. The City consists of 22.3 square miles of land and has an estimated population of 137,624 in 2009 (California State Department of Finance).

The site is located in south Fullerton at 626-700 S. Euclid Street. Refer to Figure 1 and Figure 2 for Regional Location Map and Local Vicinity Map, respectively.

### A. Subject Site Description

The property is located on the east side of South Euclid Street approximately  $\frac{3}{4}$  of a mile north of the 91 Freeway. It is a single parcel property (APN 031-175-02) and is triangular in shape, with approximately 550 feet of frontage along South Euclid Street. It is located in the City designated Redevelopment Project Area #4. The site is improved and currently used for automobile sales and repair. There are a total of eight buildings on site totaling approximately 50,000 square feet. See Figure 3 for Aerial Map.

### B. Surrounding Land Uses

The subject site is predominately surrounded by residential uses. Directly to the north and northeast is the 45 foot wide OCFCD channel. In order to provide external connectivity between the site and external uses, the project will utilize adjacent City sidewalks. The area north, east and northeast of the channel is composed of minimum 6,000 square foot single family detached residential lots. Redeemer Alliance Church is also located on the other side of the flood control channel.

Along the south side of the property, there is minimum 6,000 square foot single family detached residential lots, coupled with a small amount of Office Professional use fronting S. Euclid Street.

Across South Euclid Street to the west is a General Commercial use, including a few homes. To the west of the commercial use are minimum 6,000 square foot lot residences.

Within walking distance are numerous recreational, school, and mass transit facilities. Approximately 150 feet to the southwest of the site is Nicolas Park and Nicolas Junior High

FIGURE #1  
REGIONAL MAP  
scale : n/a

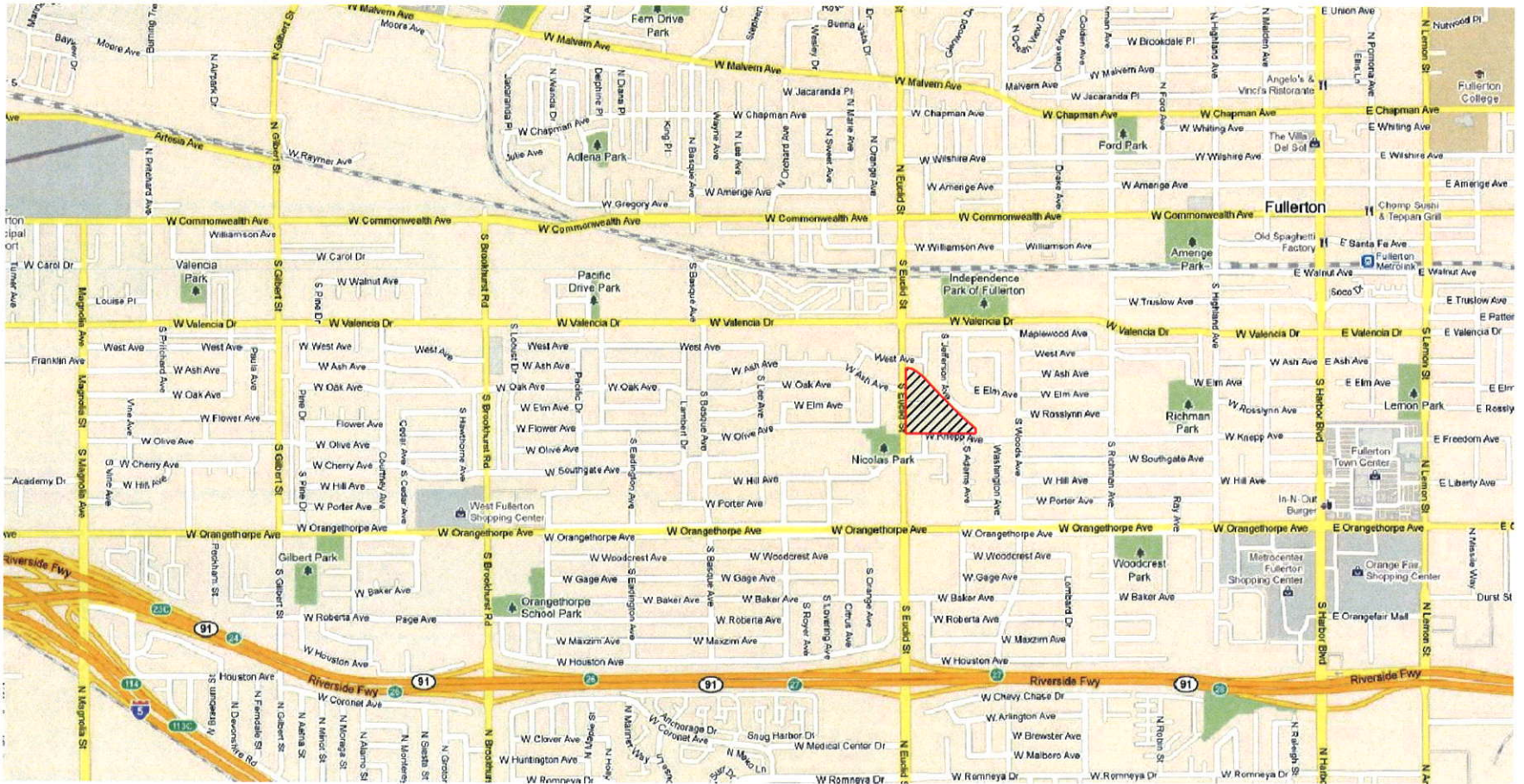




FIGURE #2  
VICINITY MAP

scale : n/a

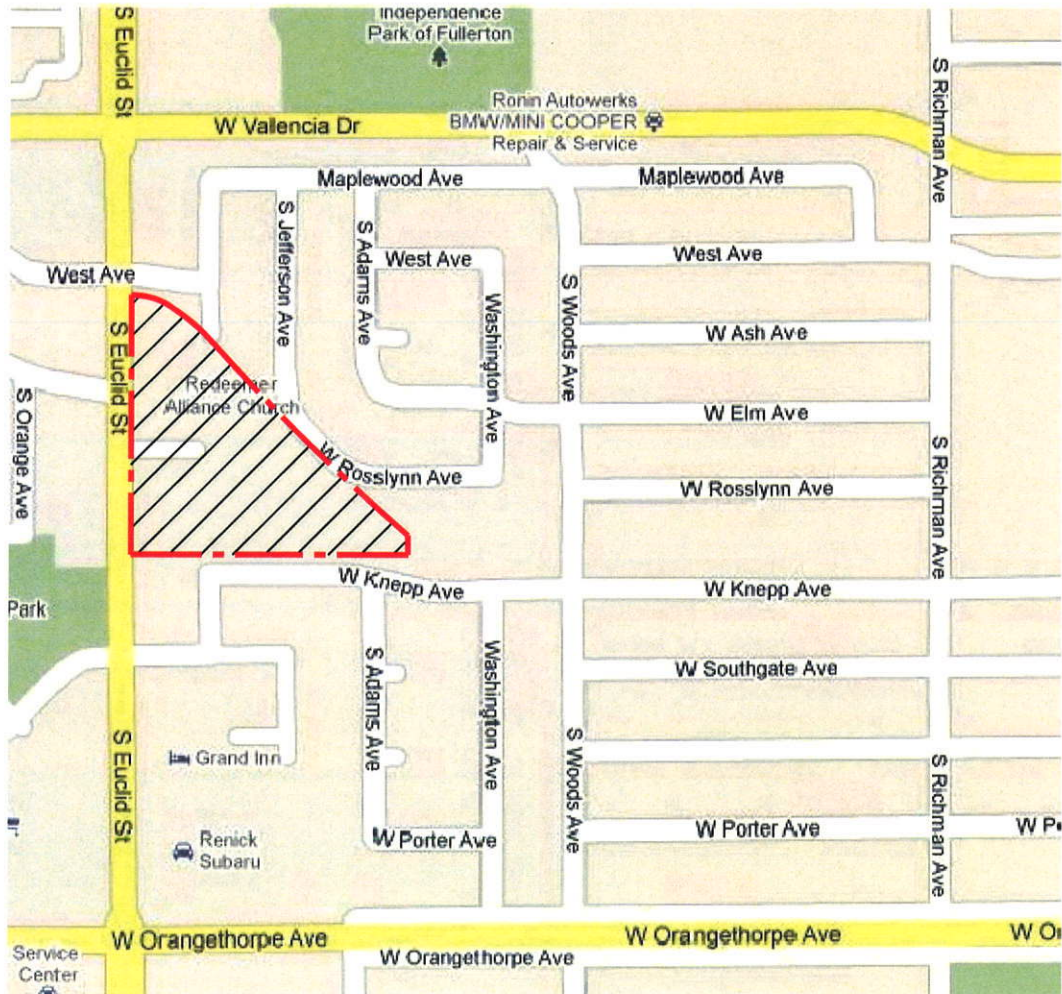
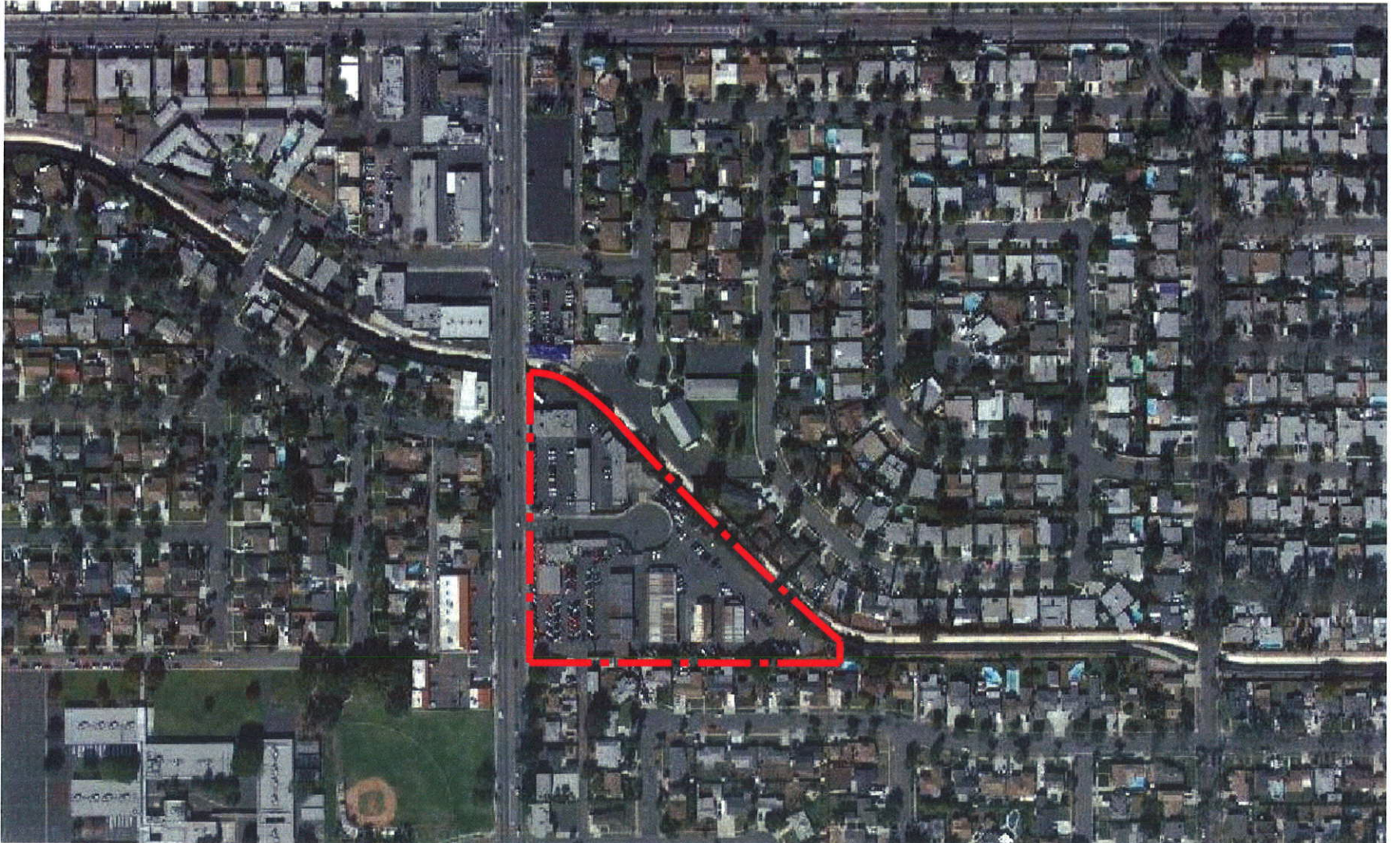




FIGURE #3  
AERIAL MAP  
scale : n/a



School. Approximately 2,000 feet to the east of the site is Richman Park and Richman Elementary School. Approximately 800 feet north of the site is Independence Park, which includes a gymnasium, tot lots, racquetball courts, a skate park, sports leagues, a weekly farmers market, and Janet Evans Swim Complex.

Also, within walking distance south of the site are the Euclid-Hill and Euclid-Southgate Orange County Transportation Authority (OCTA) bus stop locations, as well as the new commercial center located at the northwest corner of Orangethorpe Avenue and Euclid Street, anchored by a Fresh & Easy Neighborhood Market.

#### **2.4 Planning Area Information and Environmental Description**

The proposal includes a request for a General Plan Revision that will allow for the SPD zoning classification to be consistent with the proposed LMDR designation. Together, the two housing types will equate to the proper density called out for the LMDR designation. Figure 4, Land Use Plan, depicts where each use will be located. The specific plan has been prepared in compliance with the requirements of the California Environmental Quality

Act (CEQA). Pursuant to State and local CEQA guidelines, the City of Fullerton prepared an initial study for the plan. The City of Fullerton determined that the specific plan could result in environmental impacts, and therefore, required additional environmental review. As a supplement to this specific plan, an initial study/mitigated negative declaration (IS/MND) has been prepared that responds to the potential impacts identified in the initial study.

The IS/MND includes an introduction, project description, description of existing environmental conditions, assessment of impacts and mitigation measures as directed by the City of Fullerton, in accordance with CEQA guidelines.

#### **2.5 The Specific Plan: A Policy and Regulatory Document**

This Specific Plan enables the City vision to become reality by orienting it in both a policy and regulatory frame of mind. Although new policy is created by taking the old zone and land use and changing it to a new zone and land use that allows for multiple residential uses, development standards must be developed to realize the plan that is envisioned and to keep that plan intact for the long term.



FIGURE #4  
LAND USE PLAN

scale : n/a

SITE KEY

- Attached Townhomes
- Detached Single Family
- Common Open Space



The new land use and zoning policy will allow for low to medium density residential homes, which meets this plan's main objective of providing 'for sale' homes to the workforce housing buyer in the City of Fullerton. The regulatory nature of this document will enforce design and development standards that will effectuate the underlying intentions of the policy, providing a new low to medium density neighborhood, developed in an orderly fashion that is consistent with the General Plan.

## 2.6 Specific Plan and General Plan Consistency

Due to the proposal of two product types, it was necessary to apply for a specific plan, as the plan did not fit well into another existing zone within the Municipal Code. Even though the specific plan application became a necessity, it is imperative that the plan provide consistency to the City of Fullerton General Plan. When establishing consistency between the Specific Plan and the General Plan for a new residential community, it makes sense to look at the Housing Element as a beginning point. The City of Fullerton General Plan Housing Element defines the following policy themes in its Housing Policy Program that are in coincidence with this specific plan.

- Policy Theme Area A: Housing Availability and Affordability – A major focus of the Housing Element is to provide housing for all population

segments to ensure that Fullerton's current residents and workforce will have an opportunity to live in the City. The specific plan provides for workforce housing at affordable levels and is consistent with this theme.

- Policy Theme Area B: Land Use, Location, and Linkages – This theme aims to promote the livability of Fullerton's neighborhoods through proper site location and appropriate linkages to close-by amenities. The site is located in an urban environment close to commercial, residential, schools, and parks and will provide pedestrian and vehicular access to these uses.
- Policy Theme Area C: Redevelopment and Infill – This theme calls for "redevelopment and infill opportunities . . . utilized as key alternatives to providing housing". This theme goes hand in hand with Policy Theme Area B. The proposal calls for the redevelopment of an underutilized site and brings forth compatibility with connections to surrounding uses.
- Policy Theme Area F: Resource Efficient Design – This theme promotes improvement of quality of life for Fullerton residents through resource efficient design. The product designed for this site will

comply with all current energy efficiency codes and standards.

- Policy Theme Area H: Policy Development and Planning – Including City staff in the planning process is encouraged in order to meet community issues and concerns. The developer did meet multiple times with City staff and incorporated major comments into the site plan.
- Policy Theme Area I: Funding and Partnership Opportunities – The City is limited on funds and seeks other resources to meet the current and future needs of the City. This development will be entirely funded by the private developer.

The following further analyzes consistency between the Specific Plan and the General Plan by identifying goals and policies from various elements and demonstrating how the Specific Plan meets those goals and policies.

**Land Use Goals and Policies**

**Goal LU-1:** *Land use decisions which are based on careful consideration of public health and safety, community concerns, existing and future envisioned City character, sound economic and resource conservation planning and public input.*

As a result of meeting with City staff, the developer incorporated major aspects to the plan that address public safety, community concerns, resource conservation, and the vision for future City character. Major aspects included in the plan are as follows:

- Inclusion of attached housing with front doors facing Euclid Street to create a new urban edge.
- Development for internal and external pedestrian connectivity opportunities.
- Inclusion of substantial open space within the community.
- Provision for sufficient parking throughout site.

**Policy LU-1.1:** *Provide and implement clear, documented procedures which result in desired land use decisions, incentives, and regulations.*

This specific plan document adheres to state guidelines and incorporates required information such as a development plan, design guidelines, land use and development regulations, and project implementation.

**Policy LU-1.4:** *Minimize the impact of traffic congestion and unacceptable levels of noise, odor, dust and glare from new projects on all residential developments and other sensitive receptors, such as hospitals, schools, and rest homes.*



The intent of including pedestrian friendly routes of travel will minimize the traffic impact created by this proposal. Further, having the flood control channel as a natural barrier will mitigate conflicts with existing residential and church uses to the east.

**Goal LU-2:** *Compatible and balanced land uses which are well maintained or revitalized, provide pleasant environments, and adequately serve present and future populations.*

The plan calls for the revitalization of an underutilized site that will be maintained in the long term by a homeowners association. The objective is to provide market rate workforce type housing to a segment of the Fullerton population that may have not been adequately served in the past.

**Policy LU-2.5:** *Respect and retain the character of existing residential neighborhoods and encourage the establishment of a unique identity in new neighborhoods.*

The architecture of the new homes coupled with on and off site amenities will promote neighborhood identity for this site. An active HOA will regularly bring neighbors together in an effort to maintain the site in the proper manner.

**Policy LU-2.6:** *Encourage the development of multiple-family dwellings near employment opportunities, shopping areas, public parks, and transit lines.*

The infill site provides for two product lines in the low-medium density range and is located across the street from a public park. The site is walking distance to 2 bus stops and a new shopping center at the corner of Euclid Street and Orangethorpe Avenue.

**Goal LU-4:** *Orderly growth and development based on the City's ability to provide adequate transportation and infrastructure facilities.*

The plan includes the necessary infrastructure to serve the site and will connect to the City's existing infrastructure system. All necessary studies have been completed in order to evaluate the infrastructure needs for this site.

**Policy LU-4.1:** *Accommodate population growth to the extent that the community's health, safety, and welfare are maintained, as compatible with the City's character and stated General Plan objectives.*

This plan will cater to a segment of the population that has gone elsewhere for housing needs in the recent past. The new neighborhood will allow for the opportunity for

young people to buy a home in the City of Fullerton at a price that they can afford.

### **Circulation Goals and Policies**

**Goal C-1:** *A comprehensive street and parking automobile transportation network which supports the movement of people and goods in a safe and efficient manner using a variety of modes.*

The site has direct access to Euclid Street, which allows for private auto users to get on the street system very quickly. Beyond that, the site makes other modes of travel accessible as well. Pedestrians will be able to access mass transit, parks, schools, shopping centers, and other neighborhoods with the inclusion of multiple access points on the site plan.

**Policy C-1.2:** *Influence the design of streets to discourage through-traffic in residential areas.*

The site provides no opportunity for through-traffic as it is naturally bound by the OCFCD channel to the rear of the site. The internal street system loops around on itself and provides for one location for ingress and egress.

**Policy C-1.3:** *Improve, maintain and regulate the network of highways, streets, and alleys to ensure their safe and efficient use.*

This plan provides for pedestrian access to the neighborhood, schools, and parks to the east by way of City sidewalks and the alley located at the southwest corner of the site.

**Policy C-1.4:** *Plan and manage public rights-of-way and median islands to provide attractive streetscapes.*

The plan calls for the attached housing to open up to Euclid Street. The front side of these building will be enhanced with landscaping low lying walls and patios, which will provide for an attractive and interactive streetscape on Euclid Street.

**Goal C-2:** *A comprehensive network of bicycle, hiking, and bridle trails, which safely and conveniently serve the recreation and commuter transportation needs of the community.*

This plan provides for pedestrian connectivity to the neighborhood, schools, and parks to the east by way of the access to adjacent City sidewalks.

**Policy C-2.4:** *Maximize the efficiency of the City's circulations system through the use of transportation system management and demand management strategies.*

The plan encourages other modes of travel besides the private automobile, such as pedestrian and mass transit uses. Beyond that, one of the floor plans in the attached product will incorporate a room on the bottom level with direct access to the front door and Euclid Street. This unit will potentially be used in a live/work setting. The promotion of other modes of transportation coupled with the possibility for a live/work environment will decrease the pressure put on the transportation system as a whole.

**Goal C-3:** *A public transportation system which serves the needs of the community, is accessible to all, and is a viable alternative to the single occupant vehicle.*

The site is located in close proximity to multiple bus stops within walking distance at the Orangethorpe Avenue and Euclid Street intersection.

### **Community Health and Safety Objectives**

**Goal CHS-1:** *Efficient, well-equipped and responsive fire and police departments which offer maximum feasible personal safety and protection from loss of life and property.*

The site is served by both the City of Fullerton Police and Fire Departments. A secondary access for emergency purposes only will be provided to the Fire Department located at the southwest corner of the site by way of an alley accessing Euclid Street.

**Policy CHS-1.3:** *Encourage physical planning techniques which help prevent accidents, crimes, and fires.*

The site plan design complies with all fire department access requirements and the units will be built to current fire code standards, including fire sprinklers. The site lends itself to good site lines with the inclusion of a central large park.

**Goal CHS-2:** *A high level of communication reflecting citizen participation in policy development and Delivery of fire and police services.*

**Policy CHS-2.1:** *Encourage physical planning techniques which help prevent accidents, crimes, and fires.*

The homeowners association will be used as a forum for protective services to come in and communicate with and educate the homeowners about their community.

**Goal CHS-4:** *A community with maximum feasible protection from noise.*

**Policy CHS-4.1:** *Maintain noise level standards and facilitate efforts of residents to obtain relief from excessive noise.*

All homes within the community will be affected by the noise generated from Euclid Street. The homes will be built to current noise standards based on the recommendations made by the acoustical consultant.

**Goal CHS-5:** *A community with maximum feasible protection from seismic hazards.*

**Policy CHS-5.2:** *Take reasonable measures to protect the public from earthquakes through building and planning activities.*

The initial study and geotechnical study identify mitigation measures to incorporate into the design of the buildings that will limit the exposure to damage resulting from an earthquake.

**Goal CHS-6:** *Properly designed and maintained water, utility, flood control, and sanitary sewer systems to meet the needs of present residents, accommodate future growth, protect the environment and afford proper health and safety protection.*

This Specific Plan contemplates the future infrastructure needs of this community. All improvement plans will be designed to meet the need for this site and will meet City of Fullerton standards.

**Goal RM-2:** *A combination of public and private open space and park land conveniently located and designed to be responsive to residents' needs.*

**Policy RM-2.1:** *Promote the creation of public and private open spaces throughout the community.*

The plan establishes a large private park to be used by the residents of the community. The park will include a tot lot, BBQ, tables and benches. The single family homes will incorporate a private yard to be used by the individual homeowner.

The site is located in close proximity to public parks, which will be accessible by foot or bike.

## 2.7 Entitlement Consistency

Once adopted, the Specific Plan will serve as the policy and regulatory statement that implements proper development of the site. However, other entitlement applications will need to be submitted through the public process in order to create a development plan that is consistent with the Specific Plan. It is the intent to have

all applications processed through the City of Fullerton concurrently. The following entitlements must be consistent with what is proposed in the specific plan and will be required in order for the proposed community to become a reality.

**Initial Study**

An initial study will analyze potential environmental impacts of the project and includes measures to mitigate impacts to acceptable levels of significance. A mitigated negative declaration (MND) is projected to be required as a result of the initial study. The MND will be considered by the City Council prior to adoption of the Specific Plan. A mitigation monitoring program will be required to ensure that mitigation measures are implemented.

**Zone Change/Specific Plan District**

The existing C-H zone on the parcel will be changed to the Specific Plan District (SPD) zone. This specific plan sets the standards and criteria by which development will proceed. The Specific Plan includes detailed regulations, standards, and guidelines necessary for the implementation of the General Plan. The Specific Plan includes new zoning standards for the subject site, comprised of site specific permitted uses and development

standards. This zone allows for the development of residential homes on this site and establishes a plan that defines the development. Where conflicts exist between the specific plan and the zoning code, the specific plan will take precedence.

**General Plan Amendment**

If the new SPD zone is going to allow for residential development, the general plan should reflect the same. The general plan amendment proposes to change the existing land use designation of Commercial use to Low-Medium Density Residential use.

Further, the General Plan Amendment application will consist of a request to amend Table LU-4 to allow for the SPD zone in the Low-Medium Density land use designation in the general plan.

**Major Development Project**

The proposal includes site plan and design review, which initiates the need for the Major Development Project application.

**Tentative Tract Map**

Per the City of Fullerton Municipal Code, a tentative map is required to be filed when 5 or more parcels are created. The tentative map application will request a subdivision of 48 lots. Thirty-eight of the lots will be single family detached residential lots. Two common area lots will consist of the attached townhome units. The remaining lots will be reserved for common area unusable open space and street lots. The common area lots will be maintained by the homeowners association. The common area lots will include the private street, lighting, and any landscape area outside of a single family lot.

In order to construct the project, improvement plans must be submitted to the City of Fullerton for review. The plans must be approved and permit fees paid prior to obtaining a permit.

**Right of Way Abandonment**

Currently, Rossllyn Avenue protrudes into the subject site, serving the City as public right-of-way. The cul-de-sac acts as an easement in favor of the City of Fullerton to provide public access. The abandonment of Rossllyn Avenue within the subject site boundaries is needed in order to make the proposed site plan work. Once abandoned, title will revert to the underlying ownership for the parcel.

### **3.0 LAND USE PLANNING AND REGULATORY PROVISIONS**

#### **3.1 The Land Use Plan**

The current land use plan looked much different prior to entering the Preliminary Review Application process with the City of Fullerton. The first plan incorporated one single family detached product type that backed up to Euclid Street with a large perimeter wall. After several meetings with City staff, it was clear that revisions needed to be made to meet the City vision for the area. City staff saw the opportunity to initiate a treatment along Euclid Street that would create an acceptable urban edge that could potentially be continued north and south of the subject site as the area redevelops. City staff also placed high importance on providing pedestrian connectivity to the adjacent neighborhood and uses to the east of the site. Internal open space and parking requirements were also prominent topics of plan design. Figure 4, titled Land Use Plan, shows where each use will be conceptually located.

The following development plan proposal incorporates the suggestions made by City staff and is a plan that speaks to the standards of the City of Fullerton.

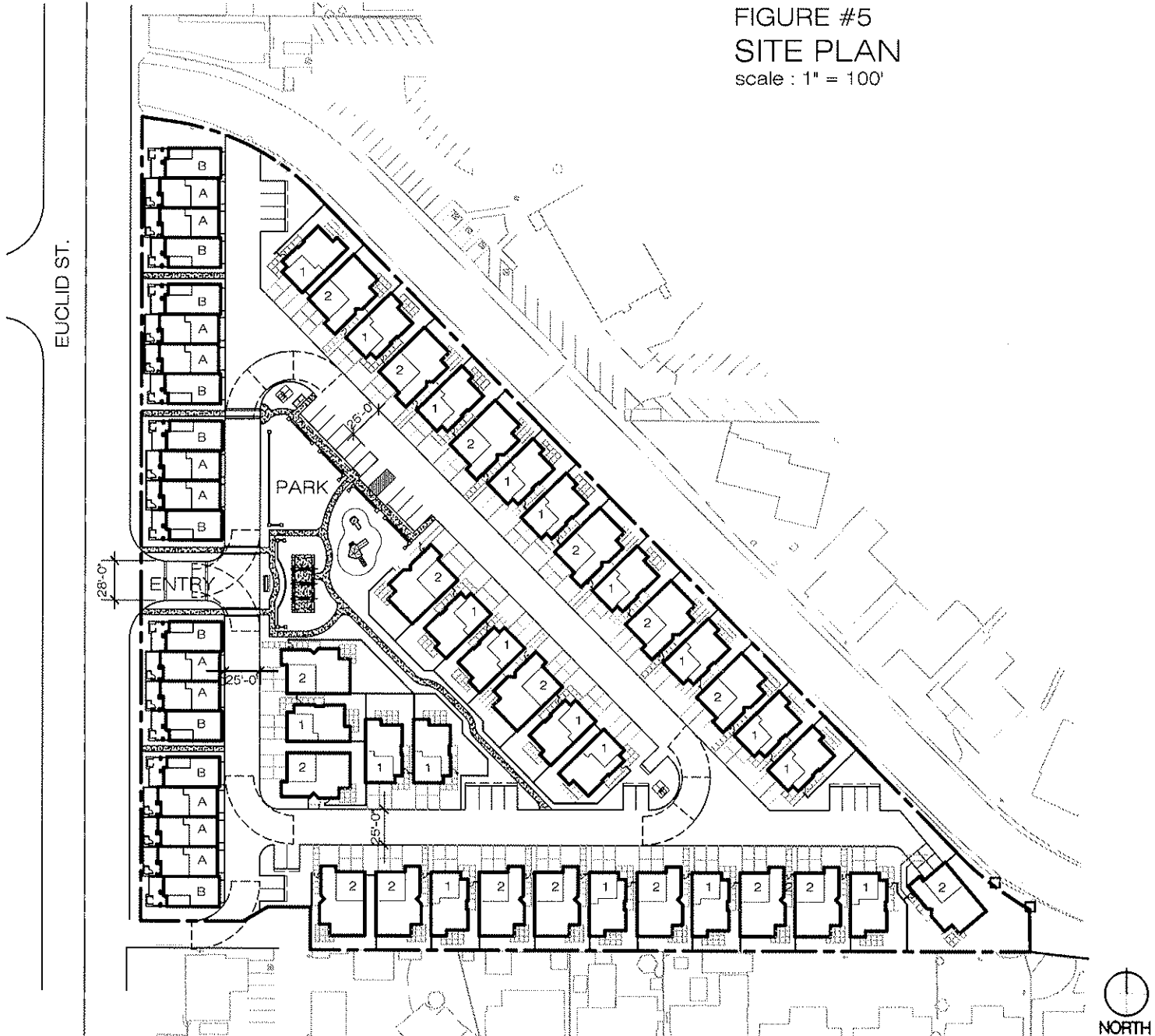
#### **3.1.1 Development Plan Proposal**

The Citrus Park Specific Plan site is located at 626-700 South Euclid Street in the City of Fullerton, between Orangethorpe Avenue and Valencia Drive. Including the acreage of Rosslynn Avenue, the site consists of 4.81 gross acres on one parcel.

The plan envisions two housing types that fit into the Low-Medium Density Residential land use designation. The proposal consists of 38 single family detached homes and 21 attached townhomes. Every detached unit will be located on a private, fee simple lot. The 21 attached townhome units will be located on 2 common lots. The remaining lots will be created to encompass common areas that include the private access street and landscaping. The site plan in Figure 5 depicts this description. The homes will be sold at market rate prices catering to first time and work force homebuyers.

Figure 5 depicts the conceptual site plan. It would be desirable to create a pedestrian connection between the Citrus Park tract and the adjacent neighborhoods to the south and/or east. Such connection would encourage alternative means of travel by facilitating pedestrian and bicycle access to neighboring homes and the local elementary school. At the time of adoption of this Specific Plan, a feasible location for a pedestrian path has not yet been determined. To extend the time frame

FIGURE #5  
SITE PLAN  
scale : 1" = 100'





in which to resolve this issue, a site plan modification that achieves this connection may be administratively approved by the Community Development Director. The Director must find that the modified plan substantially conforms to the approved arrangement and number of lots and that the change is in the best interest of current and future homeowners.

The 59 homes comprise an assortment of four floor plans consisting of three or four bedrooms each. The units cover a cross section of square footage, ranging from 1,659 SF for Plan A, 1,964 SF for Plan B, 1,713 SF for Plan 1, and 2,060 SF for Plan 2. Plans A and B comprise the attached product and Plans 1 and 2 comprise the detached product. The plans will incorporate a few different architectural styles and color schemes. Each home will include an enclosed two car garage and enough space on the property for guest parking. The garages in the single family homes will provide designated space for 3 trash bins (1 trash, 1 recycling, 1 green waste). The garages in the townhome units will accommodate 2 trash bins (1 trash, 1 recycling) as these units will not produce green waste. Floor plans and potential elevations can be found in Appendix A.

Typically, the sizes of the private, detached lots will be 2,368 SF. Each home will have a private back and side yard. The plan incorporates the zero lot line concept, creating a larger, more usable side yard on one side of

the home. Although private owners will own in fee the land within his or her legal property lines, fence lines will be installed in the zero lot line configuration, establishing access to a portion of a neighbor's property. A use easement will be created in order for private owners to use his or her neighbor's property as part of their private side yard. In return, the neighbor giving the easement will be given a maintenance easement to maintain his or her house and fence located within his or her legal property lines. See Figure 8, which depicts the description above.

Other than the homes, the plan includes a private street, a park, and landscaping with lighting that will serve the community. The community will utilize the old Rossllyn Avenue entrance as its main entrance and will not be gated. Due to the triangular shaped nature of the site, the circulation pattern will parallel the tract boundaries, looping around on itself at the front entrance. There will be one main area for open space and recreational use across from the entrance to the site. This area will include a lawn, tot lot, BBQ facilities, and picnic tables/benches.

Also using the entrance for access to the site will be all of the wet and dry utilities, which will be located underground, including water, sewer, electricity, gas, phone, and cable services.

### 3.2 Land Use Regulations

This Specific Plan incorporates two residential housing types in a Low-Medium Density Residential setting. Due to the nature of the site location and shape, it is imperative to create a new urban edge along Euclid Street and, at the same time, provide for internal amenities and external connectivity to surrounding neighborhoods. At build-out, the total square footage of new residential housing will be 108,840 SF. In order to accommodate this amount of square footage on a 4.81 gross acre site, various site planning and design strategies must be incorporated.

#### 3.2.1 Applicability

##### Attached Unit Regulations

**Setbacks** - The attached townhomes will be located along the approximate 550 linear feet of frontage along Euclid Street. The units will be designed with an alley loaded treatment and will be open to the west, with the front door facing Euclid Street. The structures will be 3 stories tall and shall be setback behind property line a minimum of 12 feet (Front Yard Setback).

Landscaping, walls/fences (maximum 42" in height), patios, and building projections, including upper deck overhangs and covered entries, installed by the original

developer shall be permitted in the Front Yard Setback area. All patio wall/fence heights shall be measured from the sidewalk elevation to the top of wall/fence. All improvements will be installed with the construction of the townhome units. Although unit owners will have exclusive use to their respective patios, the HOA will own all improvements, which will be designated as association property. It will be the responsibility of the homeowner to maintain his or her patio in a state of cleanliness. However, it will be the responsibility of the HOA to repair damage to any structural component, including patio fences or walls and concrete. All owners shall be prohibited from removing any structural component owned by the HOA. It shall be prohibited to install any new fence or wall material within the Front Yard Setback. It shall be prohibited to install any structural component that normally would require a permit from the City of Fullerton within the Front Yard Setback. The HOA governing documents will prescribe further rules and regulations for what is and what is not allowed within the patio exclusive use areas.

The garages will be located to the rear of the unit, located a minimum 2 feet (Rear Yard Setback) from the internal street system. Building overhangs on upper floors shall be permitted into the rear yard setback up to 18 inches.

In total there will be 21 attached units in 5 separate buildings (four 4-plex's and one 5-plex). There shall be a

## Citrus Park Specific Plan

10.5 foot setback (Side Yard Setback) between buildings. The 10.5 feet between buildings will be utilized for landscaping, walking paths, and other ancillary facilities, such as air conditioning units and utility closets. Four feet of the 10.5' setback, generally located along the walking path, shall remain clear from obstructions to allow for emergency access. The side yard setback limitation shall remain constant for all building stories.

Table 3.1 below summarizes the setback requirements for the attached product type.

**Table 3.1 – Attached Minimum Setback Requirements**

Category	Minimum Setback **
Front Yard Setback	12 Feet
Rear Yard Setback	2 Feet
Side Yard Setback	10.5 Feet

\*\* See Attached Unit Regulations for components allowable in setback area

Figure 6, Setback Requirements Attached Townhomes, shows a typical lot with the required building envelope.

**Building Height** - The height of the attached housing shall be limited to three stories and 36 feet measured to the ridgeline. Satellite antennae and unit venting components are permitted and can surpass the height limitation by a maximum of 3 feet. Any other roof appurtenance shall be prohibited.

## 3.0 Land Use Planning and Regulatory Provisions

**Private Open Space** – Private open space associated with the attached housing shall comply with Section 15.17.070.D.1 of the City of Fullerton Municipal Code.

### Detached Unit Regulations

**Setbacks** - The detached single family homes will be located behind the attached units along the remaining property boundaries and in the center island. Each home will be located on a privately owned, fee simple lot. All detached units will have an attached 2-car garage facing the internal street system. All garages will be setback a minimum of 19 feet (Front Yard Setback - Front Lot Line to Garage) from the internal street. Plan 2 incorporates habitable square footage that occurs within Front Yard Setback – Front Lot Line to Garage. In this instance, habitable square footage is permissible projecting in front of the garage and shall be known as Front Yard Setback – Front Lot Line to Habitable SF. Front Yard Setback – Front Lot Line to Habitable SF shall be 15 feet from the internal street system. The intent of bringing habitable square footage closer to the driveway than the garage is to deemphasize the garage massing within the community.

Every detached unit will have access to private open space in the rear and side yards. The minimum rear yard setback (Rear Yard Setback) shall be 10 feet from rear property line. All homes will be configured in a zero lot

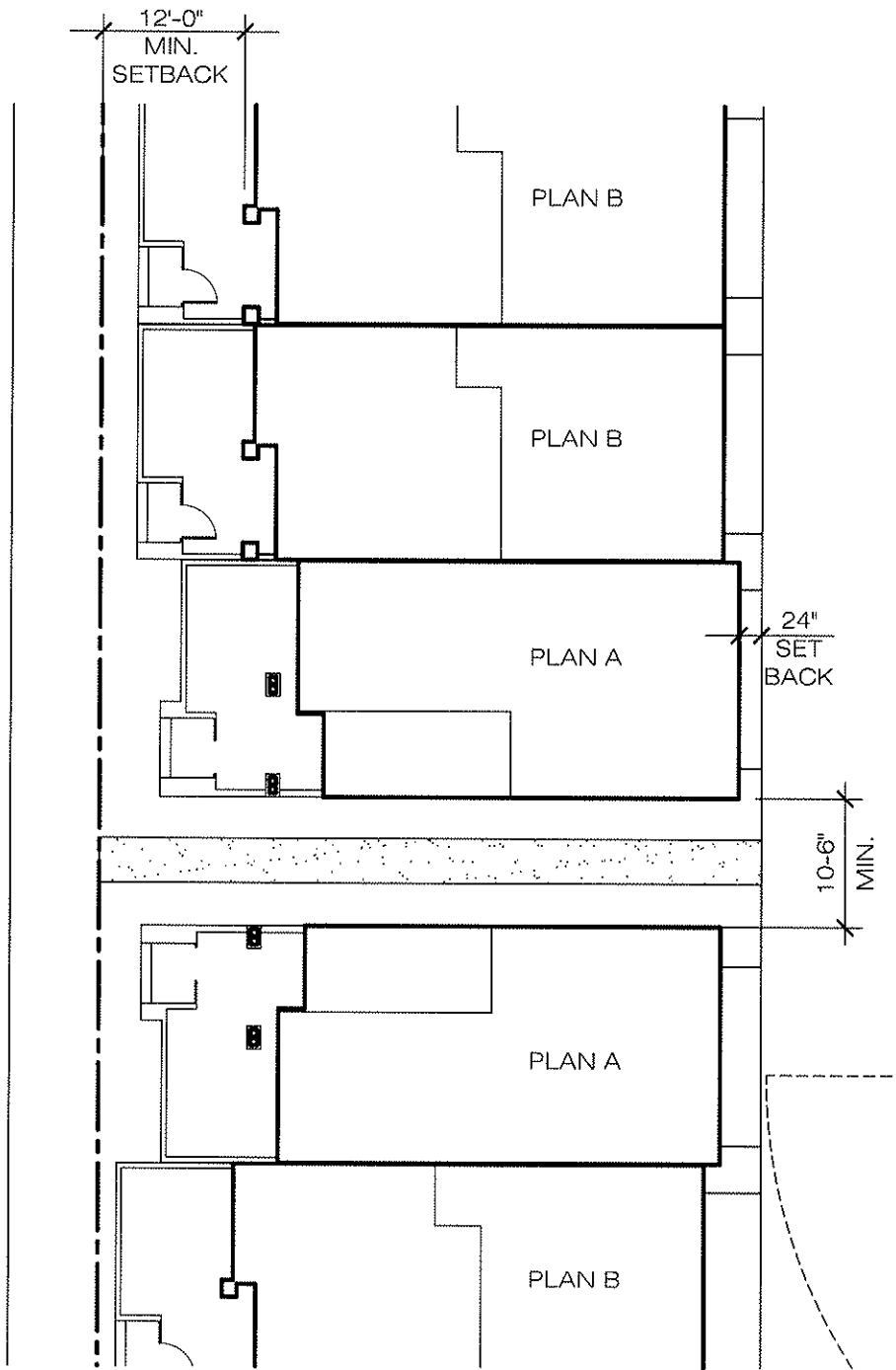


FIGURE #6  
MIN. SETBACK REQUIREMENTS  
ATTACHED TOWNHOMES  
scale : 1/16" = 1'-0"

line scenario, which will double the size of each side yard on one side of every home. The legal lot line will be located at the centerline between each house. A reciprocal easement will be provided to each homeowner for use and maintenance of the yard and for maintenance of the home and fence. Figure 8 illustrates how the reciprocal easements will be situated. As depicted, the side yard user will be granted a use easement (Use Easement) over his or her neighbor's property for yard use and maintenance. The neighbor will be granted an access and maintenance easement (Maintenance Easement) over the side yard users' property for purposes of accessing his or her fence and home for exterior maintenance. The governing documents of the HOA shall dictate noticing requirements for access to the side yard for maintenance purposes.

Although the legal lot line will be located at the centerline between the two homes (minimum 3' between lot line and home), the yard boundary line will be located at the house/fence line of the property granting the Use Easement to his or her neighbor. A minimum of 6' will be provided from face of wall to face of wall between homes and, thus, a 6' minimum side yard setback shall be required.

### 3.0 Land Use Planning and Regulatory Provisions

Table 3.2 below summarizes the setback requirements for the detached product type.

**Table 3.2 – Detached Minimum Setback Requirements**

Category	Minimum Setback
Front Yard Setback – Front Lot Line to Garage	19 Feet
Front Yard Setback – Front Lot Line to Habitable SF	15 Feet
Rear Yard Setback	10 Feet
Side Yard Setback	6 Feet

Figure 7, Minimum Setback Requirements Detached Single Family, gives a good illustration of the required setbacks required for the single family detached homes.

With the exception of what is installed by the original developer within any setback area, all buildings and structures shall be prohibited in all required setback areas. Projections into setbacks built by developer include, but are not limited to, eaves, front entry/porch overhangs, and mechanical equipment. Trellis's and shade structures installed by home owner are permitted within the Rear Yard Setback only. Although this specific plan allows trellis's and shade structures in the Rear Yard Setback, they shall not exceed the minimum building code setbacks that would normally apply.

FIGURE #7  
 MIN. SETBACK REQUIREMENTS  
 DETACHED SINGLE FAMILY  
 scale : 1/16" = 1'-0"

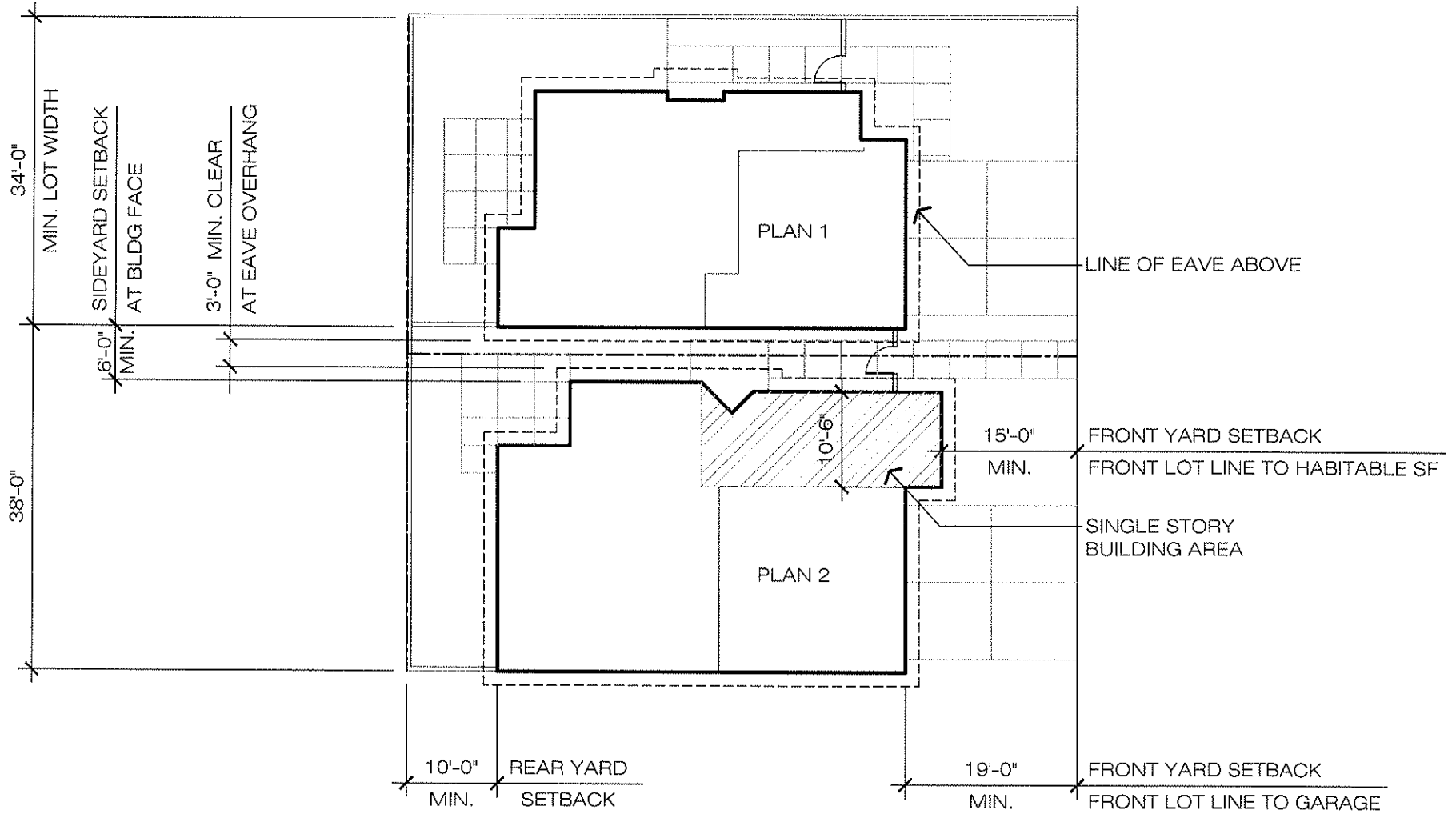
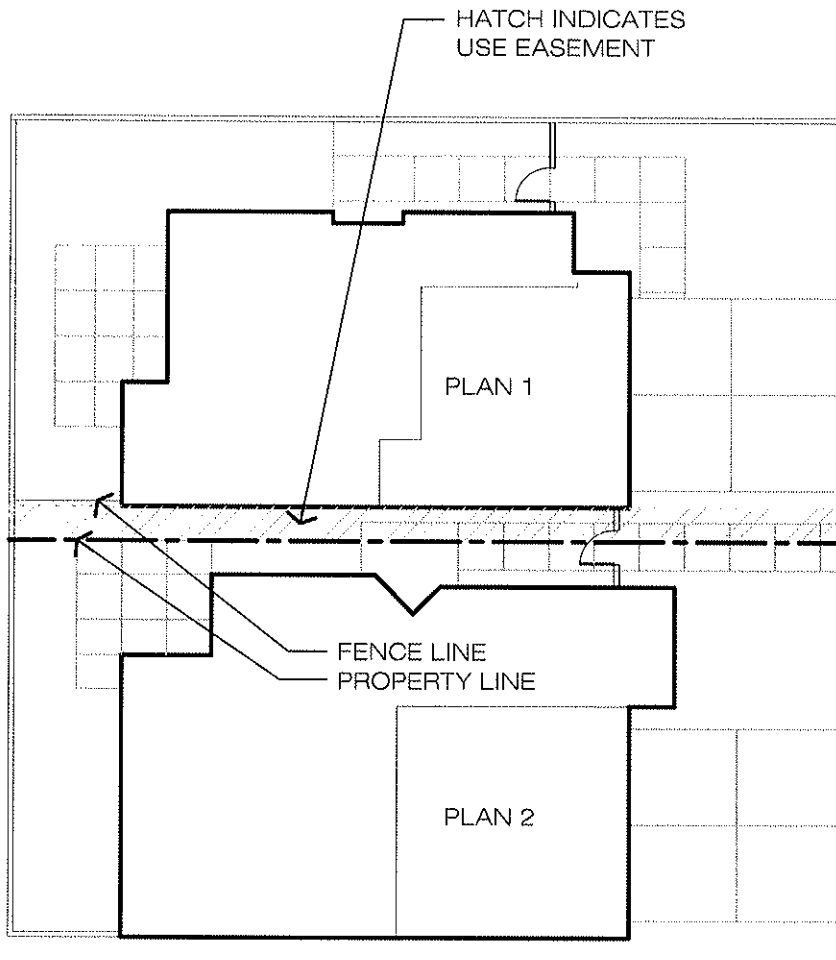
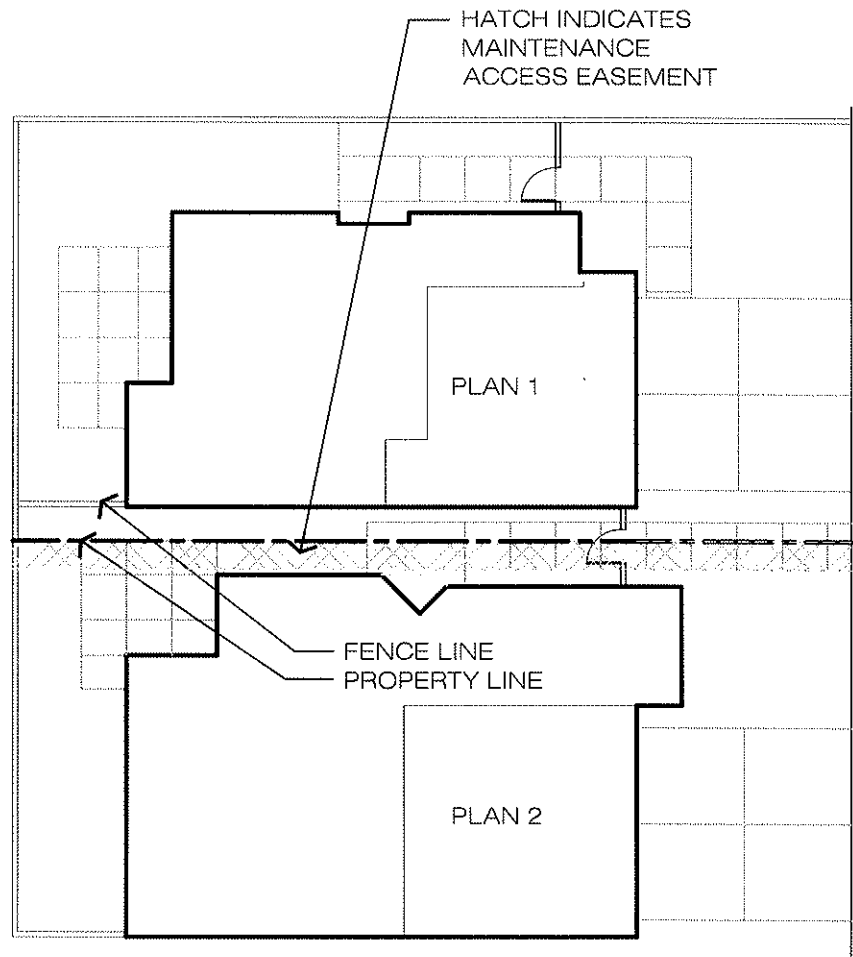


FIGURE #8  
RECIPROCAL EASEMENT PLAN  
scale : 1/16" = 1'-0"

USE EASEMENT



MAINTENANCE ACCESS EASEMENT



**Building Height** - The height of the detached product shall be limited to 29 feet. Satellite antennae are permitted to surpass height limitation.

**Fencing** - Every single family detached lot will share a common assumed property line with one or two neighbors. A wood fence will be located on the assumed property line and will be wholly located within one owner's property. Fence maintenance shall be the responsibility of the property in which the fence is located. The HOA governing documents will further explain fence maintenance in the case of damage done by a neighbor while using the Use Easement. Fencing located on private lots shall comply with Table 15.17.050.F of the City of Fullerton Municipal Code.

**Private Open Space** – All single family detached homes will provide for a minimum of 550 square feet of private open space, located in the rear and side yards of each lot. The minimum dimension of private usable open space in the side yard shall be 6'. The minimum dimension of private usable open space within the rear yard shall be 10'.

Sprinkler lines are permitted within the Use Easement area and shall be used and maintained by the owner benefitting from the Use Easement.

### Open Space Regulations

The balance of the site consists of common area landscaping and open space. The major open space amenity is a 16,138 SF private park that is appropriately located central to the site and shall include a tot lot, lawn, tables, benches, and BBQ facilities. A walking path shall be provided from the southern edge of the park to the southern street in the community, providing off-street connectivity internal to the site.

A maximum 42" wrought iron fence will enclose the tot lot. Other than the tot lot enclosure, fencing will not be required in the open space areas.

All common usable open space areas shall comply with the requirements found Section 15.17.040.C.1 of the City of Fullerton Municipal Code. Section 15.17.040.C.1 states that "usable open space' means an open area ... designed and intended for outdoor living and/or recreation. Common usable open space shall not exceed a grade of 20 percent, shall have a minimum dimension of at least 10 feet, and may include landscaping, walks, recreational facilities, and small decorative objects such as artwork and fountains". The usable open space provided in this plan shall be the amount of usable open space required for this site.



**Parking Regulations**

The Fullerton Municipal Code Table 15.17.070.H requires 2 garage spaces and 1 open guest space in multiple-family residential zones for units with 3 or more bedrooms. The proposed plan exceeds this requirement by providing 4 parking spaces per unit (2 garage and 2 outdoor).

Attached Unit Parking

Every attached townhome will include a minimum 2-car garage. Eleven units will provide a third parking space in the garage. The garages shall be a minimum 20 feet wide and 20 feet deep from interior wall to interior wall.

Attached townhomes shall provide a minimum 3 parking stalls (2 in garage, 1 guest parking). 31 off-street parking spaces are dispersed throughout the site for guest parking.

Detached Unit Parking

Every detached home will also include a 2-car garage. The garages shall be a minimum 20 feet wide and 20 feet deep from interior wall to interior wall.

Every single family home will have a deep enough driveway to park two more vehicles. The depth of the

driveway will match the front yard setback established from front line to face of garage, which is 19 feet. Every driveway parking space minimum width shall be 9 feet, which equates to a minimum 18 foot wide driveway. Driveway guest parking shall be included in the calculation for guest parking for this site. Driveway guest parking shall only be used by property owner and his or her guests.

Detached homes shall provide a minimum 4 parking stalls (2 in garage, 2 guest in driveway)

Site Guest Parking

The site plan provides for an additional 30 guest parking spaces spread evenly throughout the community. These spaces shall be a minimum 9 feet wide and 17 feet deep. Vehicles will be permitted to overhang a maximum of 2 feet at the front of the parking stall.

General Parking Notes

All garage doors shall be roll-up doors. The proposed parking plan shall not be altered in any way. Refer to Figure 9 for parking space locations.

### **3.2.2 Specific Plan Consistency**

Although the site may be developed in phases, it is presumed that the development will be built out by one developer. With this in mind, the Specific Plan will be processed concurrently with numerous applications, which include Major Development Project, General Plan Revision, Zoning Amendment, Subdivision Map, and Abandonment. The aforementioned applications will mirror what is being proposed in this Specific Plan and will maintain consistency. All regulations dictated by the specific plan and other entitlements will become effective upon final adoption of the ordinance approving the Zoning Amendment.

### **3.3 Design Standards**

#### **3.3.1 Building Design, Massing, and Height**

The architectural character of the town homes on Euclid is derived from the California Craftsman style and the Spanish Monterey style. The single family homes within the community incorporate these styles with the addition of a California Colonial style also popular in Southern California. These styles were chosen for their similarity of spirit and detailing, yet have different characters due to materials, colors, surface treatments. The California Craftsman style allows for the use of textured materials such as shingles, siding, wood balconies, and low slung

roofs with large overhangs. The California Colonial has siding and plaster exteriors with less overhang. The Monterey style has a different vocabulary yet traditionally also has wood balconies, exposed overhangs and low slung roofs. Our goal was to find variety in the visual vocabulary and also some continuity in spirit between the styles. The structures are relatively close together and the need for visual variety in materials and color is important for the individualization of each home in context with each other.

Each of the two housing types, row homes and single family homes, are treated different architecturally because of the massing and scale differences of each. The row homes are three stories and designed in blocks of four or five units. We treated each unit as an individual vertical stack in order to create the feel of a series of row homes versus a single building with non identifiable units. The units are designed with the front doors on Euclid, addressing the street, with their main living areas facing the interior of the community with large exterior porches off the living rooms. The facades are highly articulated with varying building planes, use of a variety of high quality surface materials. The Craftsman styles utilizes materials such as shingles, siding, stone, post and beam details and shake type roofs. The Monterey style features stone at the base, wood trellis, decorative tile details, awnings with decorative wrought iron supports and tile roofs.

The single family homes located within the community are two stories in height and narrow in width at the street. The design incorporates a variety of materials and detailing to articulate the street facades. The side entry units feature a decorative wrought iron entry gate at the front of the home leading into the landscaped side courtyard and the front door of the home. Again a variety of compatible styles were incorporated to provide individualization of the homes.

The project is compatible with the architectural style of the surrounding land uses which are generally older and more traditional in nature. The proposed Craftsman and Monterrey styles are similar in that they reflect the traditional styles of Southern California. Please see Appendix A for details of floor plans and elevations.

### **3.3.2 Single Family Detached Fence Standards**

The boundary fences on all single family detached lots will be made of wood. The maximum height of the wood fences on these lots shall be 6 feet. Fencing and walls are not permissible within any front yard setback on the single family detached lots.

Decorative entry court gates will be provided by developer. Materials for gates may include, but is not limited to, wood or metal. Lighting and address signage will be located in close proximity to entry court gates.

## 3.0 Land Use Planning and Regulatory Provisions

The gates will be owned and maintained by the owner of the respective lot on which the gate is located. However, replacement of gates will be subject to the review of the homeowners association to ensure the decorative nature of the entry.

### **3.3.3 Parking Standards**

Each home within the community will include an attached garage that accommodates at least two parking stalls. Eleven of the attached townhomes will have a third space in the garage in a tandem scenario. In addition to garage parking, every lot in the detached product will have a driveway with enough space to park two vehicles as accommodated by the Front Yard Setback - Front Lot Line to Garage.

Further, the site plan will include 30 off-street guest parking stalls at a typical dimension of 9 feet x 17 feet. A 2 foot overhang is permissible. These stalls will be dispersed throughout the site. See Figure 9 for off-street stall locations.

Combined, the site allows for 4 parking stalls per unit.

Vehicular parking standards shall comply with the following items found in Section 15.17.080 of the City of Fullerton Municipal Code:

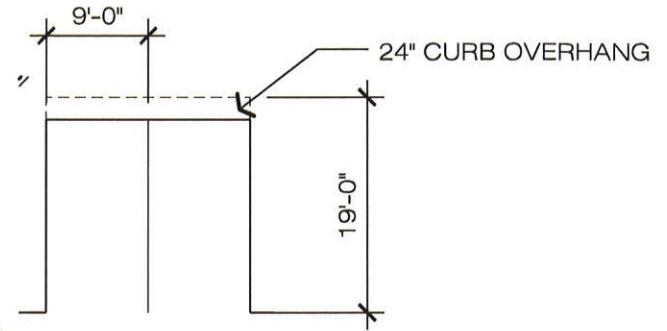
FIGURE #9  
PARKING STANDARDS

scale : n/a

SITE KEY

-  Private Driveway Parking
-  Guest Parking

TYPICAL GUEST PARKING DIMENSIONS



- Required parking for residents shall be with a garage or covered carport, as allowed by this subdivision.
- Garages shall be enclosed on three sides and equipped with a door for the vehicular entrance on the fourth side...
- All required parking for guests shall be open and uncovered, clearly marked and signed, and accessible at all times.
- Guest parking shall be evenly distributed throughout the development for the convenience of the guests. In condominium ... projects, the required guest parking spaces shall not be individually sold or assigned to particular units, unless the City approves a Conditional Use Permit to allow such use.
- The size of required handicap parking shall comply with Title 24 of the California Building Code.
- Required off-street parking spaces shall be located on the same lot or ... site ...
- Parking is permitted in a front yard setback on a driveway leading to a parking space that is located outside of the front yard setback area.
- Required parking spaces may overhang two feet over landscaped areas and walkways.

### 3.3.4 Access and Circulation

Vehicular ingress and egress shall be provided at one main access point directly off of Euclid Street. This access point is located in the same location as where Rosslinn Avenue was located prior to the abandonment application, approximately 325 feet south of the OCFCD channel at centerline of the driveway.

As depicted in Figure 10, the main access will include landscaping, sidewalk, and street, with a total width of 48 feet. The driveway itself will be 28 feet wide, providing enough space for two-way traffic.

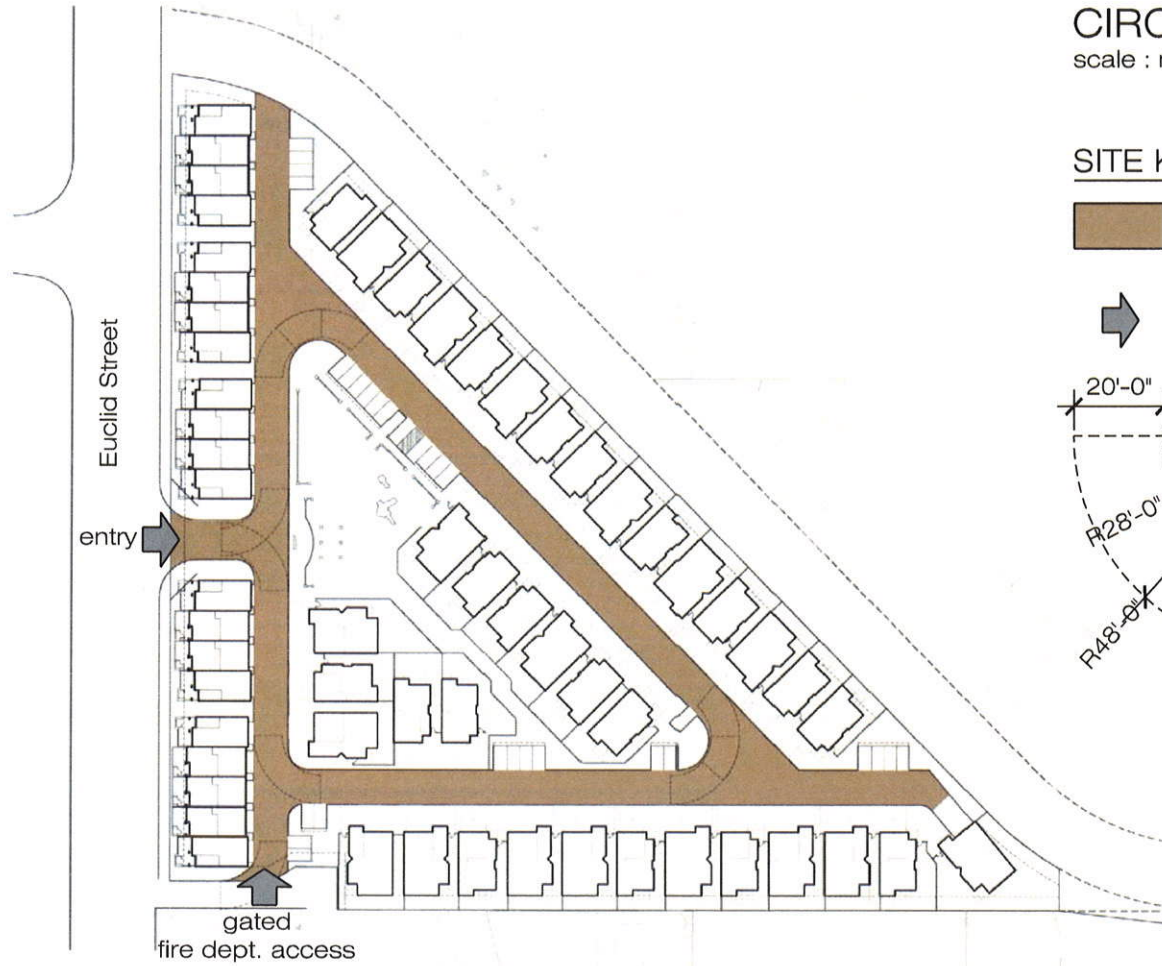
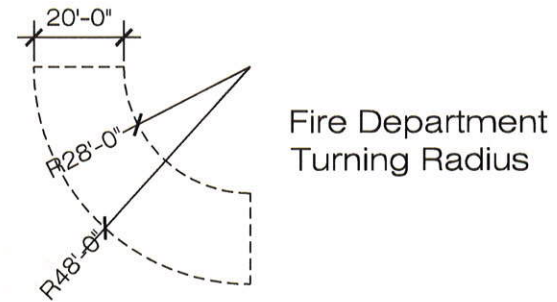
A second vehicular access point shall be provided for emergency purposes only. The emergency access point will be located on the north side of the alley at the southwestern corner of the site. This driveway will be gated and will only be accessible for emergency purposes.

Internal vehicle circulation shall be provided by a 25 foot wide driveway, allowing two-way traffic. The internal driveway mimics the shape of the property and loops around on itself in a triangular layout. Parking will not be permitted anywhere along the internal driveway. Guest parking stalls will be accessible from the driveway. The driveway exceeds City of Fullerton Fire Department standards for access.

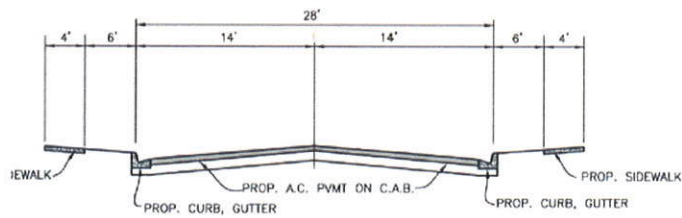
FIGURE #10  
 CIRCULATION PLAN - AUTOMOBILE  
 scale : n/a

SITE KEY

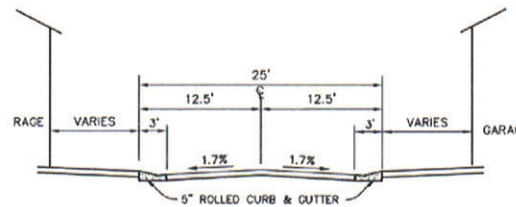
-  Private Street
-  Automobile Access Point



STREET SECTION



TYPICAL PVT. STREET A - ENTRANCE  
 NOT TO SCALE



TYPICAL PVT. STREET B, C & D  
 NOT TO SCALE

Pedestrian ingress and egress will be provided at multiple access points. Along the Euclid Street frontage, pedestrian access will be provided at the main entrance and at pathways located between the attached buildings.

Internally, pedestrian mobility will be enhanced with a pathway extending southeast from the park to the southerly driveway. The open space areas will be ADA accessible.

Vehicular access and circulation standards shall comply with Section 15.17.085 of the City of Fullerton Municipal Code.

### **3.3.5 Open Space**

The site provides for one usable open space area. The main amenity is a 16,138 SF park that will include a lawn, tot lot, tables, benches, trash receptacles, and BBQ facilities. See Figure 11 for conceptual park plan.

### **3.3.6 Site Landscaping and Lighting**

The developer shall hire a licensed landscape architect to design the landscape and irrigation system for the entire site to City of Fullerton standards, limited to site common areas and private lot front yards. The homeowners association will maintain landscaping and irrigation

## 3.0 Land Use Planning and Regulatory Provisions

located in the common areas. Private lot owners will maintain front, side, and rear yard landscaping.

All landscaping shall be water efficient and comply with Chapter 15.50 of the Fullerton Municipal Code.

The homeowners association shall require applications be submitted to the architectural control committee, as regulated by the HOA, for any revisions to the front yard and/or design of the backyard prior to installation. The HOA governing documents (CC&R's and rules & regulations) shall contain provisions for review of landscape applications that adjust front, side, and/or rear yard landscaping.

Common area lighting will be established and will be paid for and maintained by the HOA. Lighting will be provided along the private street and within open space areas.



FIGURE #11  
CONCEPTUAL OPEN SPACE PLAN  
scale : n/a

SITE KEY

- Common Open Space
- Private Open Space





## 4.0 THE INFRASTRUCTURE PLAN

### 4.1 Transportation

Developing this community in an existing urban environment creates alternative mobility opportunities beyond the private automobile. From a transportation point of view, the main objective of the Citrus Park Specific Plan is to establish an in-fill residential community that will create transportation efficiencies and, in the process, reduce the number of private vehicle trips.

This proposal, as a policy, places emphasis on pedestrian access as a viable mode of travel. Walking will be an effective way to access public transportation as well. The site provides for pedestrian external connectivity by way of 5 access points. See Figure 12, Pedestrian Circulation Plan, for location of access points. Once external to the site, a pedestrian can walk to the public park, the school, the market, or the bus stop with relative ease.

The plan also accommodates vehicular access due to the number of parking spaces provided onsite. The plan will incorporate all recommendations made by the traffic study associated with the initial study for this site.

### 4.2 Public Services

#### Water

Water for this site will be supplied by the City of Fullerton Water Utility. The developer shall generate water improvement plans that will conform to City standards and submit them to the City for plan check and approvals. These plans will attempt to utilize an existing 10" cast iron water main located in Euclid Street. See Figure 13, Conceptual Infrastructure Plan, for location of water main and other related infrastructure.

The City of Fullerton will be granted an easement to maintain the water system on site.

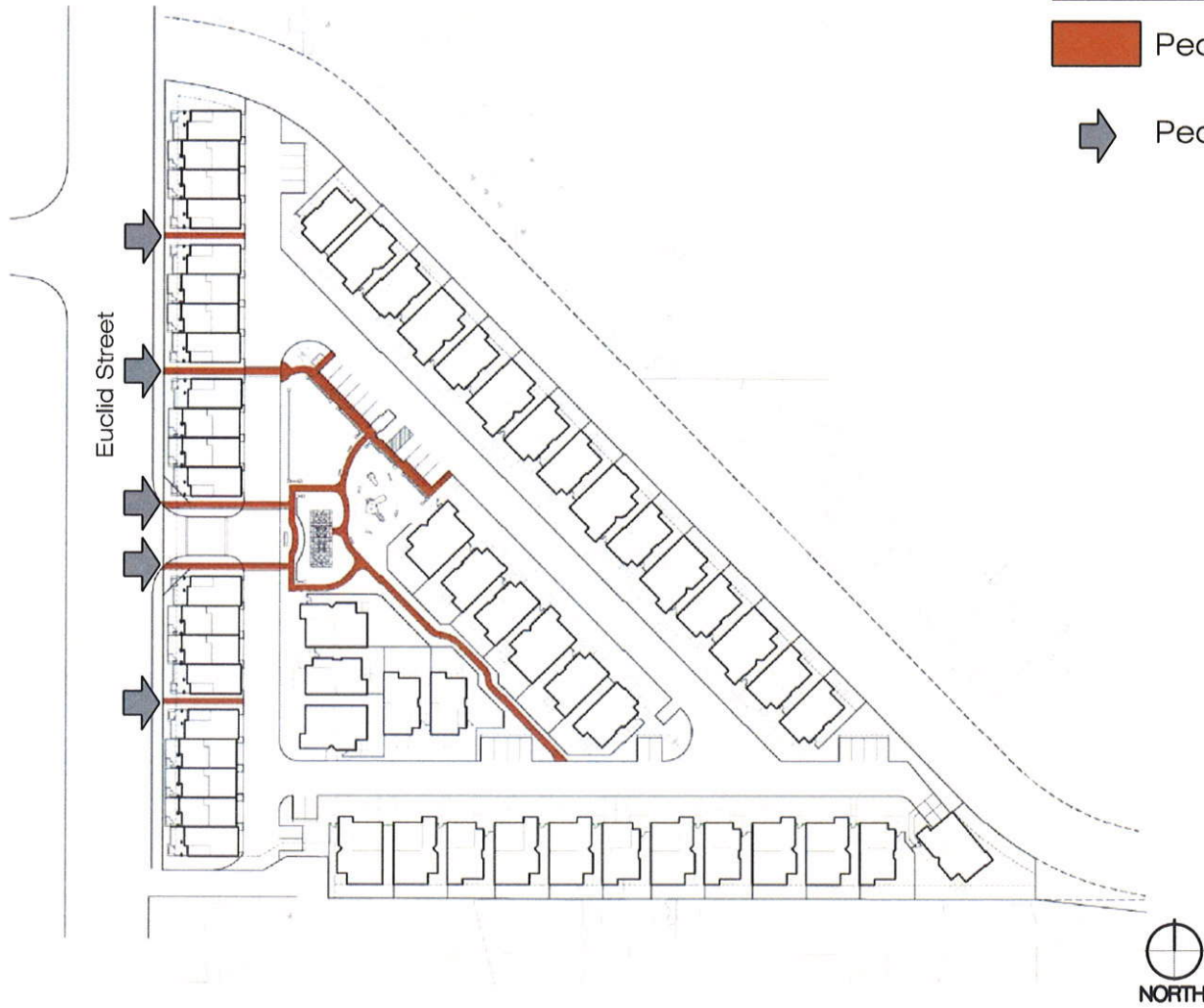
#### Sewer

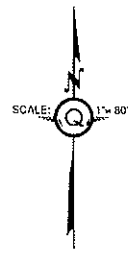
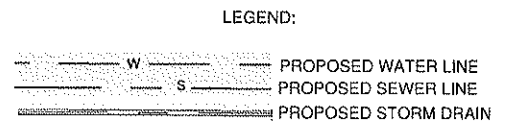
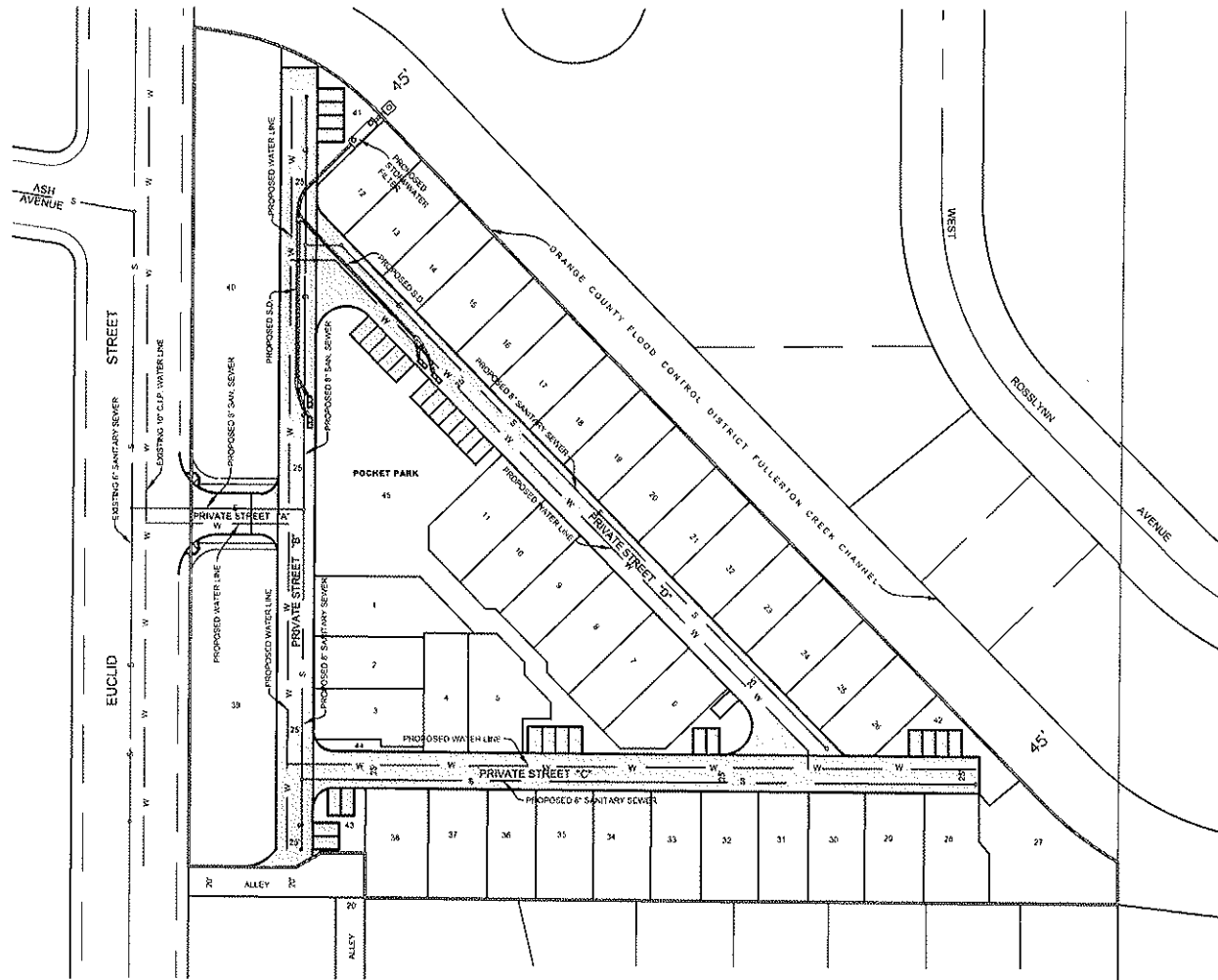
The plan will utilize the existing City of Fullerton 8" sewer line located in Euclid Street, which is a gravity system. As with water, the developer will engineer a plan conforming to City standards that will be processed through plan check and approved. See Figure 13, Conceptual Infrastructure Plan, for sewer line location within the site. The City sewer eventually flows into the Orange County Sanitation District sewer lines, which takes the sewage to a treatment plant.

FIGURE #12  
CIRCULATION PLAN - PEDESTRIAN  
scale : n/a

SITE KEY

-  Pedestrian Sidewalk
-  Pedestrian Access Point





PLANS PREPARED BY:  
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 DATE: 08-05-11 JOB N°: 211095 DRAWN BY: CRT

REVISIONS			
N°	DATE	BY	DESCRIPTION
▲			
▲			
▲			
▲			

PLANS PREPARED FOR:  
**WATT COMMUNITIES**  
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 (310) 450-0281 FAX  
 ejjoelson@wattcommunities.com

PROJECT TITLE  
**CITRUS PARK**

JOB ADDRESS  
 622-700 S. Euclid Street, Fullerton, CA 92632

LEGAL DESCRIPTION

TENTATIVE TRACT NO.  
 17419

SCALE: 1" = 80'  
 SHEET  
 1 OF 1

SHEET TITLE ON-SITE INFRASTRUCTURE FIGURE 13

The City of Fullerton will be granted an easement to maintain the sewer system on site.

### **Storm Drain**

The objective of the proposed storm drain system is to meet all governmental requirements for storm water treatment. Currently, storm water flow leaves the site and flows north on Euclid Street to a series of catch basins where it outlets to the OCFCD channel. This proposal incorporates a filtering system on site prior to releasing the flow to the channel. As seen in Figure 13, the site surface flows to the northwest of the site where a series of catch basins are located. The catch basins bring the water to a filtering system where it is then outlet into the channel. The storm drain system will be designed to treat water with three alternatives, depending on flow amount:

- Percolation in Park – In the low flow scenario, drainage will flow to two low points on the north end of the site, where it will enter an inlet that connects to an underground perforated pipe in the park. The perforated pipes will allow for the drainage to leave the pipe and percolate into the ground.
- Grassy Bio-Swale – When there are higher flows, but not peak flows, drainage that does not

percolate will outlet at ground surface to a bio-swale that will take drainage to catch basin and enter peak flow system. Some drainage will percolate into bio-swale.

- Storm Water Filtration – In a storm event, peak flows will enter series of catch basins and travel to an underground pre-discharge mitigation treatment filtration unit before leaving the site and entering into the OCFCD channel.

Further, the existing site has a negligible amount of pervious area. The proposed site will provide 41% of the site as pervious area. The flow of water offsite will decrease based on the addition of pervious area alone. The amount of water entering the channel will decrease, which decreases the burden of the system as a whole.

Through the course of construction and long term permanent usage of the site, the design incorporates the following water quality measures and Best Management Practices (BMPs) in order to eliminate the discharge of pollutants from the site, which can also be found in the Water Quality Management Plan (WQMP).

### ***Routine Non-Structural BMPs***

N1 – Education for Property Owners, Tenants, and Occupants

Educational brochures will educate homeowners of general good housekeeping practices that will contribute to the protection of storm water quality.

**N2 – Activity Restrictions**

Covenants, Conditions and Restrictions (CC&Rs) are to be prepared for future implementation and maintenance of all BMPs specified herein. These include but are not limited to:

1. No visible trash on residential lots or in common areas
2. No dumping of oil, paint, or other potentially hazardous materials into the onsite storm drain system

**N3 – Common Area Landscape Management**

The Homewoner’s Association (HOA) will be responsible for ongoing landscape maintenance of all common areas of the Project consistent with the County Management Guidelines for Use of Fertilizers and Pesticides and County Ordinance No. 0-97-3987 (Title 4, Division 13, Orange County Municipal Code), Water Management and Urban Runoff.

**N4 – BMP Maintenance**

The HOA will be responsible for implementation of each non-structural BMP and scheduled cleaning of all

structural and treatment control BMPs proposed for this development.

**N11 – Common Area Litter Control**

The HOA will implement trash management and litter control procedures aimed at reducing off-site migration of trash and pollution of drainage water.

**N12 – Employee Training**

Watt Communities will train its employees in the methods of storm water protection and public information. This includes the use of materials contained in this WQMP.

**N14 – Common Area Catch Basin Inspection**

The HOA will be responsible for inspecting and maintaining all common area catch basins and/or treatment control BMPs.

**N15 – Private Street Sweeping**

The HOA will be responsible for having the private streets swept prior to the storm season (no later than October 1<sup>st</sup> of each year) and on a regular basis (minimum 6 month intervals).

***Routine Structural BMPs***

Provide Storm Drain System Stenciling and Signage

Storm drain stencils are visible source control BMP measures, typically placed directly adjacent to storm

drain inlets. The stencils contain a brief statement that prohibits the dumping of improper materials into the storm drain system. Graphical icons, either illustrating anti-dumping symbols or images of receiving water fauna, are effective supplements to the anti-dumping message. Stencils and signs alert the public to the destination of pollutants discharged into storm water. The following requirements shall be included in the project design and shown on the project plans:

1. Provide stenciling of all storm drain inlets and common area catch basins within the project area with prohibitive language (i.e. “No Dumping – Drains to Creek”) and/or graphical icons to discourage illegal dumping.
2. Maintain legibility of stencils and signs.

#### Use Efficient Irrigation Systems and Landscape Design

The irrigation system will comply with the City and County requirements with respect to water conservation and programmable timers. The landscape areas will comply with the City approved landscape plans and maintenance will comply with the County Management Guidelines on Fertilizers and Pesticides.

#### Protect Slopes and Channels

The Project site is relatively flat and will not contain steep slopes that require erosion protection. However, the site is adjacent and will discharge to a County maintained

flood control channel. Therefore, an energy dissipation apparatus will control flows discharged to the channel.

#### ***Site Design BMPs***

##### Minimize Impervious Area/Maximize Permeability (C-Factor Reduction)

The site design contains detached residential homes with landscaping and vegetation between each lot. A centrally located “pocket park” will allow some surface runoff infiltration from storm flows accumulated on the proposed private streets. Street design has incorporated minimum widths that will still meet City Planning design standards and emergency access requirements. The use of sidewalks inside the Tract will be minimized where practicable. Auxillary parking areas (guest and street parking) will be equipped with permeable pavements to maximize infiltration and reduce runoff quantities.

##### Minimize Directly Connected Impervious Areas

As mentioned above, the detached residential homes will have landscaped buffers between each unit. Roof drains will discharge to adjacent landscaping prior to collection in the onsite storm drain system. Uncovered parking areas will be equipped with permeable pavements.

##### Create Reduced or “Zero Discharge” Areas

As previously mentioned, uncovered parking areas will be equipped with permeable surfaces, allowing some

infiltration and reducing runoff quantities. The centralized “pocket park” will receive some of the runoff from the private streets, also increasing infiltration. These areas shall also be equipped high-flow collection points to prevent excessive ponding and/or flooding of adjacent areas.

Conserve Natural Areas

Existing site is 100% impervious, covered by asphalt concrete and structures, and contains no natural areas.

***Treatment Control BMPs***

Vegetated Grass Strips and Swales

Vegetated grass strips and swales will be used throughout the private and common area landscaped open space to provide pre-treatment filtration and flow velocity dissipation prior to entering the onsite storm drain system.

Proprietary Control Measures

Proprietary control measures, such as hydrodynamic separators and catch basin filter inserts, will be utilized to filter and treat runoff from the site prior to discharge into the County maintained flood control channel (Fullerton Creek Flood Control Channel).

Detention Basin/Sand Filter

As previously mentioned, the centralized “pocket park” will receive low flow runoff from the private streets. This area will filter out many storm water pollutants including, but not limited to, trash & debris, sediment and bacteria. The park will be underlain with gravel and sand to allow rapid percolation and a perforated underdrain and surface drain network to prevent excessive ponding.

The homeowners association will maintain the storm drain facilities on site.

**4.3 Solid Waste Disposal**

It is the intent of this plan to provide a clean and efficient way to collect solid waste from this site. It will be the responsibility of each homeowner to start service for solid waste collection. Each home will be provided with enough space in the garage and/or private open space to store individual trash, recycling, and green waste bins. Space for green waste bins will not be provided to the attached townhome units, as they will not generate green waste. On a designated day, MG Disposal will enter the site with their truck, collect solid waste and take to their disposal facilities.

The homeowners association will also maintain trash service for collection at the parks.

#### 4.4 Energy Services

The developer has confirmed future service to this site by all dry utility service providers, which includes Southern California Edison (electric service), Southern California Gas Company (gas service), AT&T (telephone service), and Time Warner Cable (cable/internet service). The developer will also provide for centralized satellite dish service for the attached units. The single family detached owners will be permitted to install a satellite dish system for their home, pending architectural review as governed by the homeowners association.

All service providers will be granted an easement to access and maintain their infrastructure on site. All easements will be non-exclusive in nature, which opens up the opportunity for other service providers to serve the site in the future. Increased competition between service providers may result in cost savings to the end user.

All dry utilities will be provided through underground infrastructure and services.

#### 4.5 Other Services

##### Emergency Services

The site will be served by the Fullerton Fire Department and Police Department. The site complies with all fire

department access requirements. The closest fire department facility is located one mile from the site at 1732 W Valencia Drive.

##### School District

The site is located in both the Fullerton Joint Union High School District and the Fullerton School District. The Fullerton School District provides services to elementary and junior high schools. Elementary and junior high school students living in this community will attend Richman Elementary School and Nicolas Junior High School, respectively. Both schools are walking distance from the site.

High school students living in this community will attend Fullerton High School.



## **5.0 IMPLEMENTATION & ADMINISTRATION**

### **5.1 City Code and Plan Consistency**

As described in Chapter 2, various applications will be submitted to the City of Fullerton concurrently with this specific plan. Upon approval of all applications, this parcel, currently known as assessor parcel number (APN) 031-175-02, will have a zoning designation of SPD and a land use designation of Low-Medium Density Residential. The City of Fullerton zoning and land use maps and tables will be adjusted accordingly.

Adjusting the zoning code from C-H to SPD will create consistency between the City code and this specific plan. Adjusting the General Plan Land Use Designation from Commercial to Low-Medium Density Residential will create consistency between the City General Plan and this Specific Plan.

Upon approval, the Citrus Park Specific Plan will act as the regulating document as it relates to developing the subject site. For development criteria and regulations that are not amended or superseded by this Specific Plan, the provisions of the Fullerton Municipal Code shall prevail.

### **5.2 Improvement Plans and Permits**

The developer shall design and submit all necessary site improvement and building plans for plan check to the City of Fullerton for approval prior to construction. All plans shall comply with this Specific Plan, as well as current building and construction codes at the time of submittal.

Prior to pulling any permit, the developer shall be responsible for payment of all associated inspection, permit, and impact fees. The fees paid will be based on the rates at time of permit acquisition.

### **5.3 Financing and Maintenance of Improvements**

Upon acquisition of permits, it shall be the responsibility of the developer to pay for all improvements associated with this Specific Plan and all other approvals related with this plan.

The developer shall establish a homeowners association (HOA) for the long term maintenance of items on site not maintained by the City of Fullerton. The City of Fullerton will have an easement over the internal circulation system for access and maintenance for the maintenance of onsite water and sewer facilities. The City easement will also be utilized for emergency services and trash collection. All water and sewer facilities located outside of the internal driveway shall be maintained by the HOA.

The HOA will also maintain the storm drain, park, lighting, and landscape & irrigation systems located on the common lots as defined by the tentative map. The HOA will also be responsible for the maintenance and insurance for the attached structures and will be paid for through the monthly assessments of the HOA.

The single family detached owners will be fully responsible for the maintenance of landscaping and structures located on their lots. Any revisions to front yard landscaping of the single family detached lots must be approved by the HOA.

#### **5.4 Project Construction Phasing**

All public type infrastructures within the project boundary will be installed in one phase at project start. These improvements include rough grading, storm drain, water, sewer, and street improvements.

Home construction will be phased and starts will be based on sales of homes in the previous phase. It is unclear at this time how many phases there will be, but it can be assumed there will be five construction phases for the attached product and six construction phases for the detached product. The number of phases and number of units in phases may be altered from time to time.

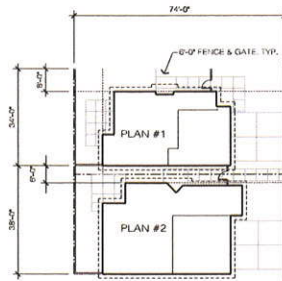
#### **5.5 Specific Plan Amendment Procedures**

This specific plan may be amended using the same process by which it was approved. Any proposed modifications to the specific plan that would substantially alter its intent will be considered amendments to be processed pursuant to Government Code Section 65453.

In the event that the Citrus Park Specific Plan is not clear in its intent, authority shall be given to the Community Development Director to interpret the Plan.

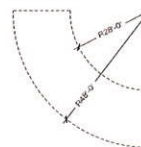
# Appendix

KEY PLANS



PLANS #1, #2  
TYPICAL LOT SIZE AND SETBACKS  
SCALE: 1"=20'-0"

FIRE DEPARTMENT TURNING RADIUS  
SCALE: 1"=20'-0"



PROJECT SUMMARY

TOTAL AREA: 4.81 ACRES (209,364 s.f.)  
TOTAL UNITS: 59 units  
DENSITY: 12.2 units/acre

BUILDING COVERAGE: 66,610 s.f. (32%)  
LANDSCAPE COVERAGE: 83,755 s.f. (40%)  
HARDSCAPE COVERAGE: 58,999 s.f. (28%)

COMMON OPEN SPACE: 16,728 s.f.  
PRIVATE OPEN SPACE:  
SINGLE FAMILY: 24,990 s.f. (556 s.f. minimum backyard)  
TOWNHOME: 8,506 s.f.  
TOTAL PRIVATE OPEN SPACE: 31,496 s.f.

UNIT SUMMARY

PLAN	TYPE	DESCRIPTION	QNTY	GROSS AREA	TOTAL S.F.
1	SF	3BR + DEN - 2.5 BATH	20	1,713 s.f.	34,260 s.f.
2	SF	4BR + DEN - 3 BATH	18	2,060 s.f.	37,080 s.f.
A	TH	3BR - 2.5 BATH	10	1,859 s.f.	18,590 s.f.
B	TH	3BR + DEN - 2.5 BATH	11	1,964 s.f.	21,604 s.f.
TOTAL UNITS:			59		109,534 s.f.

PARKING SUMMARY

SINGLE FAMILY HOME  
2 CAR GARAGE - 76 SPACES  
DRIVEWAY - 76 SPACES  
TOWNHOMES  
3 CAR TANDEM GARAGE - 33 SPACES  
2 CAR GARAGE - 20 SPACES  
GUEST PARKING  
OFF STREET PARKING STALLS - 30 SPACES

TOTAL PARKING 235 SPACES (4 SPACES PER UNIT)

VICINITY MAP



SITE PLAN

CITRUS PARK  
626-700 EUCLID STREET; FULLERTON, CALIFORNIA

DEVELOPERS  
Watt Communities



Withee Malcolm Architects, LLP  
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Torrance, Ca 90504  
Tel. (310) 217-8885  
Fax (310) 217-0425

JOB NO. B0038 200  
DATE: May 18, 2011  
PRINTED DATE: August 08, 2011  
scale: 1" = 40'-0"



ASH AVE.

EUCLID STREET

ALLEY

O.C.F.C.D.

8'-0" BLOCK PERIMETER WALL

10'-0" BLOCK SETBACK

8'-0" BLOCK PERIMETER WALL

10'-0" BLOCK SETBACK

10'-0" PROV. SETBACK

10'-0" PROV. SETBACK

10'-0" PROV. SETBACK

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10'-0" PROV. SETBACK





FRONT ELEVATION



REAR ELEVATION



TYP. SIDE ELEVATION

BUILDING ELEVATIONS  
 ATTACHED TOWNHOMES - CRAFTSMAN  
**CITRUS PARK**  
 626-700 EUGLID STREET, FULLERTON, CALIFORNIA  
 DEVELOPERS  
**Watt Communities**



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DECORATIVE TILE ACCENT

5-TILE ROOF

RECESSED VINYL WINDOW

WOOD TRIM

WOOD POT SHELF

STUCCO

WOOD SHUTTERS

STUCCO PATIO WALL WITH PRECAST CAP

DECORATIVE METAL GATE AND RAILING

FRONT ELEVATION



REAR ELEVATION



TYP. SIDE ELEVATION

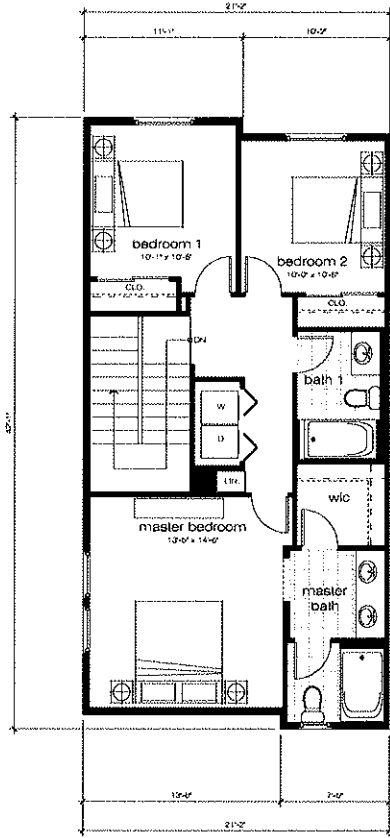
BUILDING ELEVATIONS  
 ATTACHED TOWNHOMES - MONTEREY  
**CITRUS PARK**  
 626-700 EUCLID STREET; FULLERTON, CALIFORNIA  
 DEVELOPERS  
**Watt Communities**



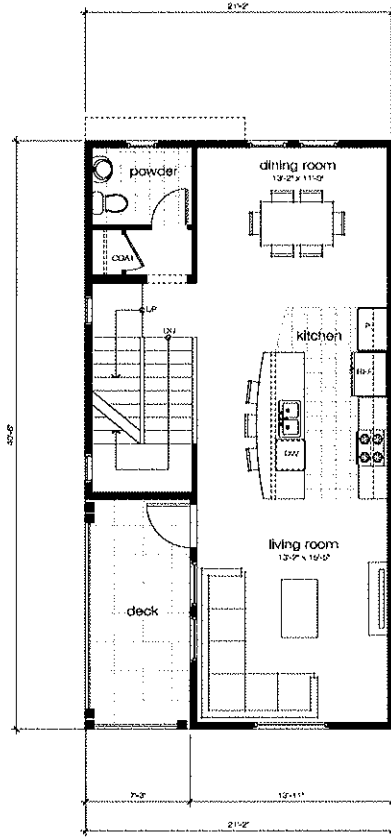
Withee Malcolm Architects, LLP  
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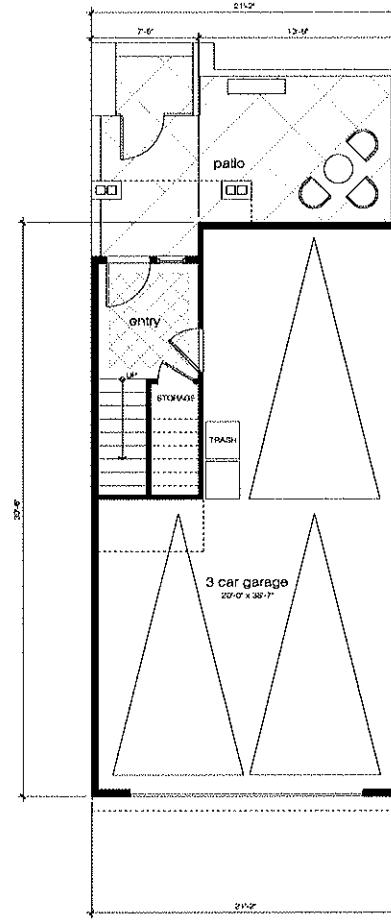




THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

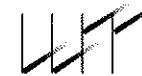
### PLAN A - TOWNHOUSE

- FIRST FLOOR - 63 sf
- SECOND FLOOR - 734 sf
- THIRD FLOOR - 862 sf

- TOTAL SF - 1,659 sf
- DECK/PATIO SF - 314 sf

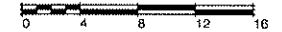
CITRUS PARK  
626-700 FLUGEL STREET, FULLERTON, CALIFORNIA

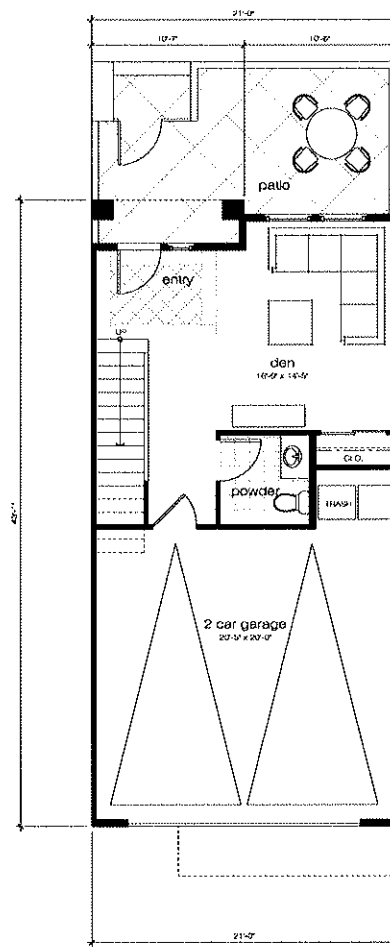
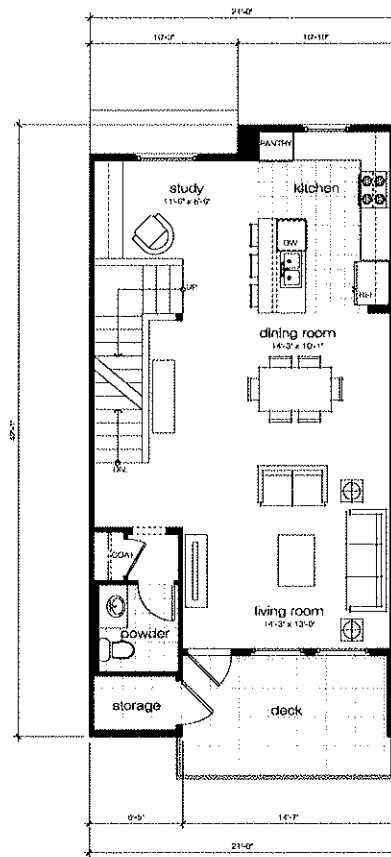
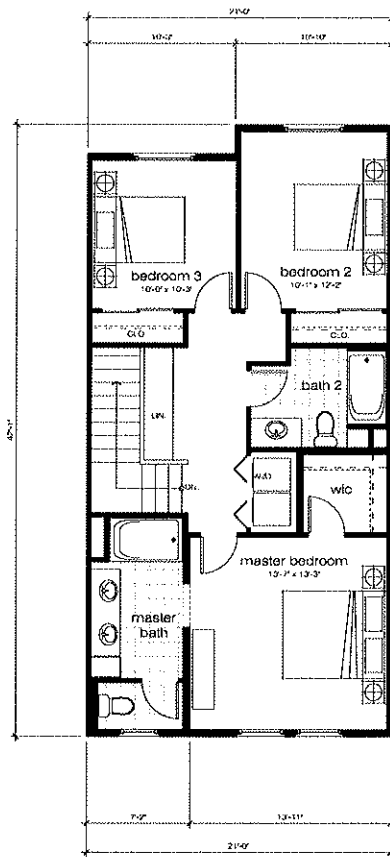
DEVELOPERS  
Watt Communities



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DATE: May 18, 2011  
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SCALE: 1/8" = 1'-0"





**PLAN B - TOWNHOUSE**

- FIRST FLOOR - 360 sf
- SECOND FLOOR - 755 sf
- THIRD FLOOR - 863 sf

- TOTAL SF - 1,978 sf
- DECK/PATIO SF - 306 sf

**CITRUS PARK**  
 626-700 EUCALYPTUS STREET, FURN BRTON, CALIFORNIA  
 DEVELOPERS  
 Watt Communities

**WMA** Withee Malcolm Architects, LLP  
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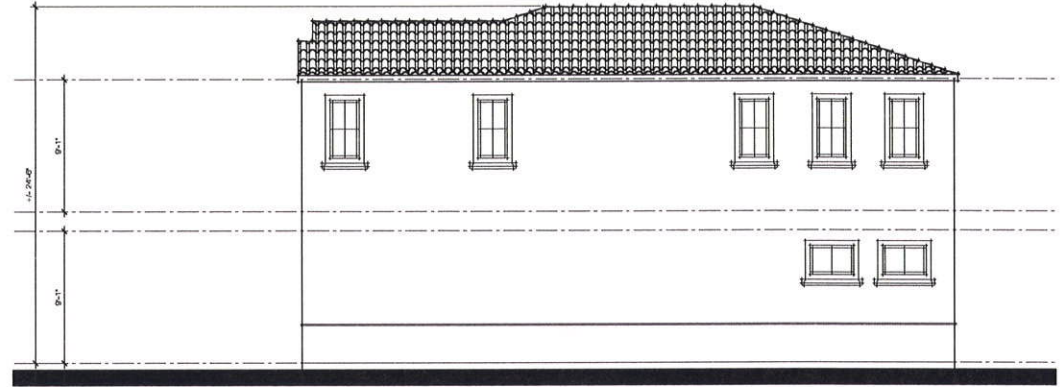
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

BUILDING ELEVATIONS  
 PLAN #1 -SPANISH  
**CITRUS PARK**  
 626-700 EUCLID STREET; FULLERTON, CALIFORNIA  
 DEVELOPERS  
**Watt Communities**

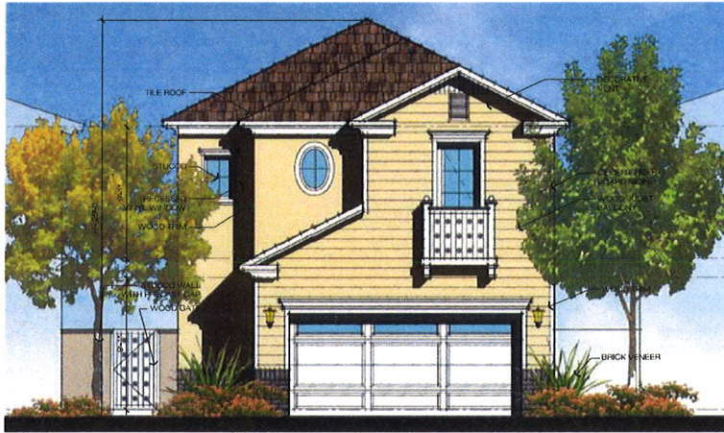


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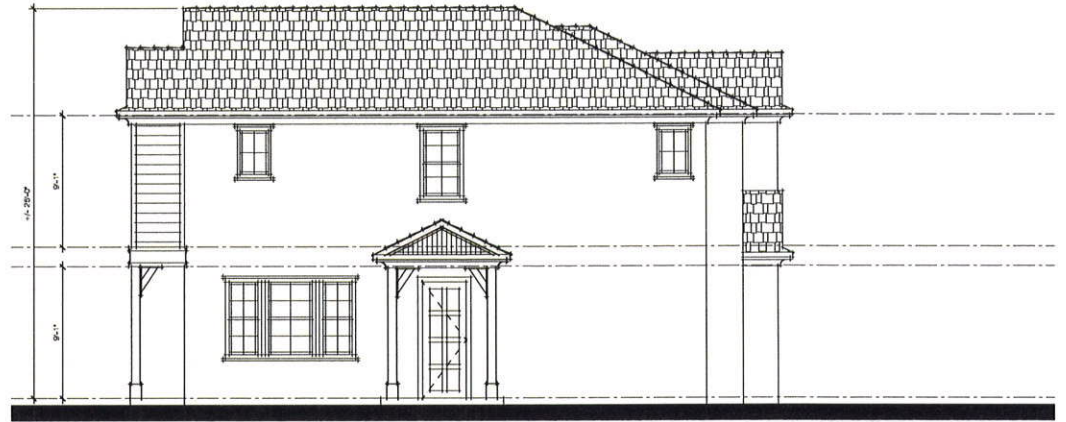
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FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



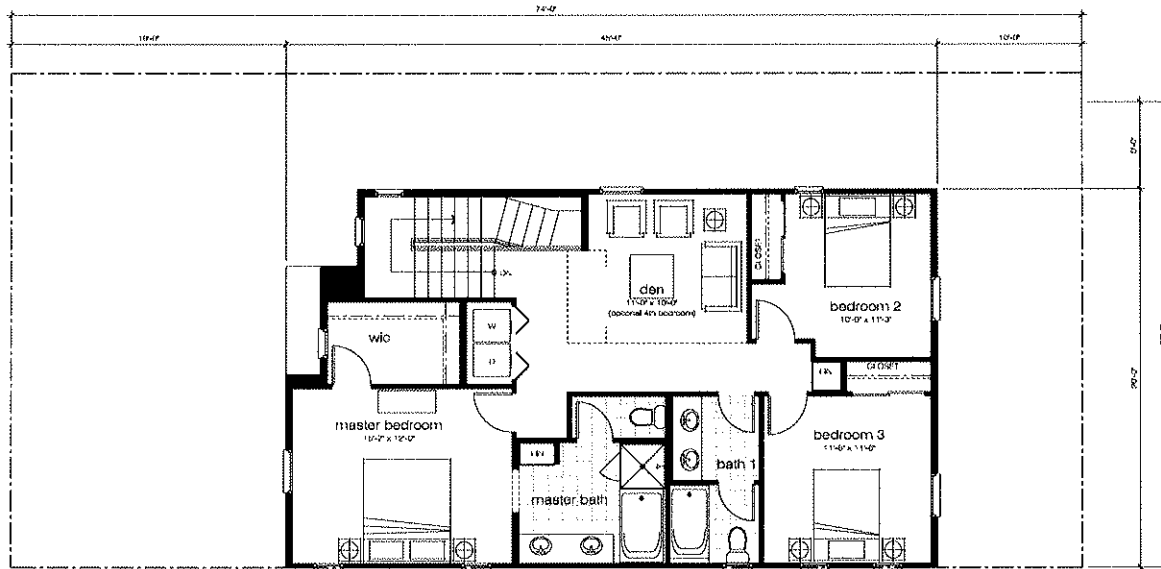
SIDE ELEVATION

BUILDING ELEVATIONS  
 PLAN #1 - CALIFORNIA COLONIAL  
**CITRUS PARK**  
 828-700 EUCLID STREET, FULLERTON, CALIFORNIA  
 DEVELOPERS  
**Watt Communities**

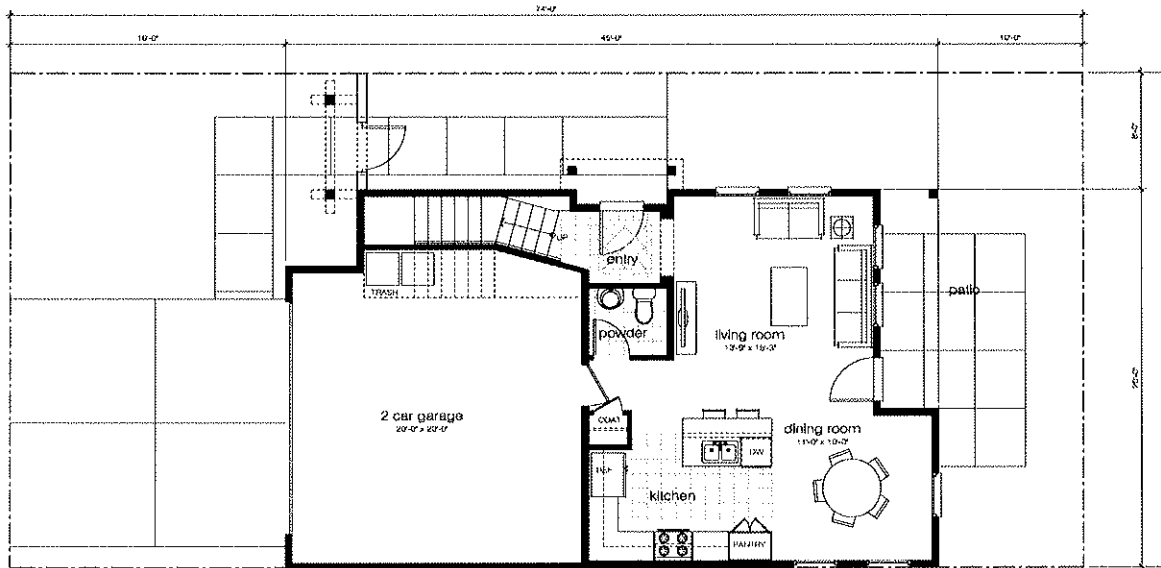
**WM** Withee Malcolm Architects, LLP  
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SECOND FLOOR

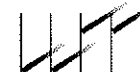


FIRST FLOOR

### PLAN 1 - SINGLE FAMILY

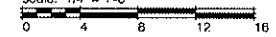
FIRST FLOOR - 686 sf  
 SECOND FLOOR - 1,031 sf  
 TOTAL SF - 1,717 sf

**CITRUS PARK**  
 626-700 FUGLIO STREET; FULLERTON, CALIFORNIA  
 DEVELOPERS  
 Watt Communities



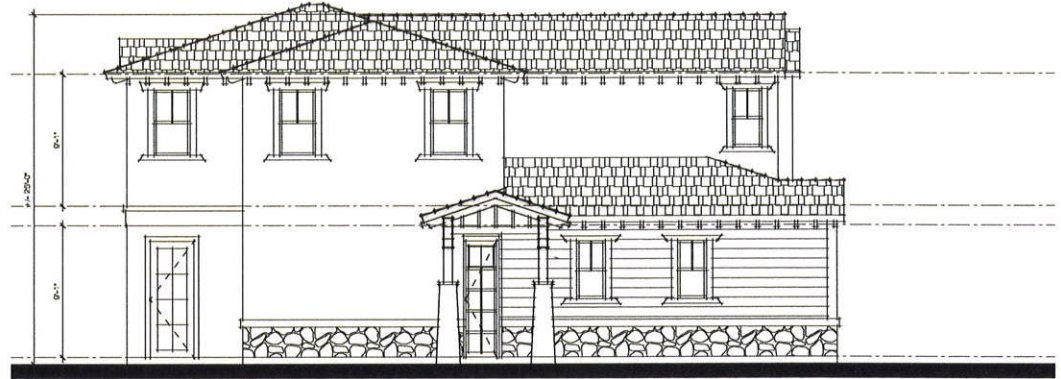
Wilthe Malcolm Architects, LLP  
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 Fax (310) 217-6426

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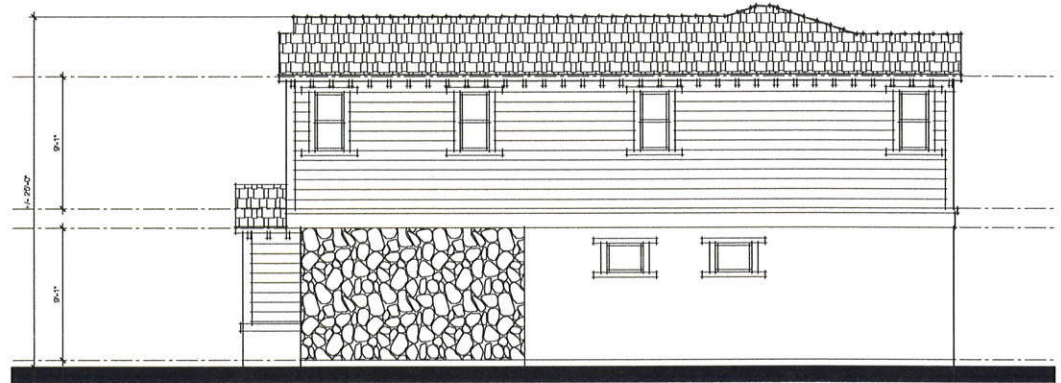
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

BUILDING ELEVATIONS  
 PLAN #2 -CRAFTSMAN  
 CITRUS PARK  
 626-700 EUCLID STREET, FULLERTON, CALIFORNIA  
 DEVELOPERS  
 Watt Communities



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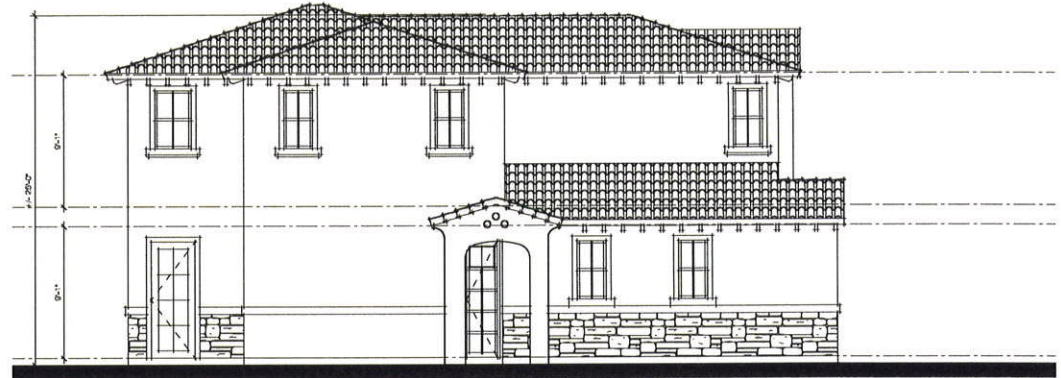
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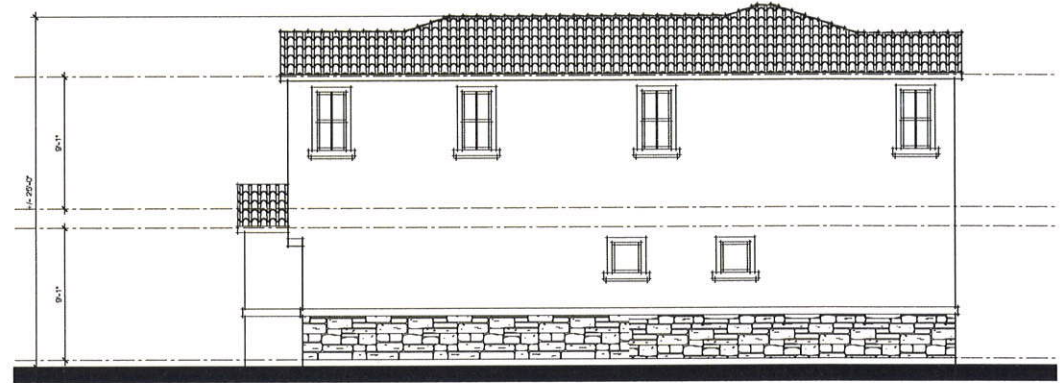




FRONT ELEVATION



SIDE ELEVATION



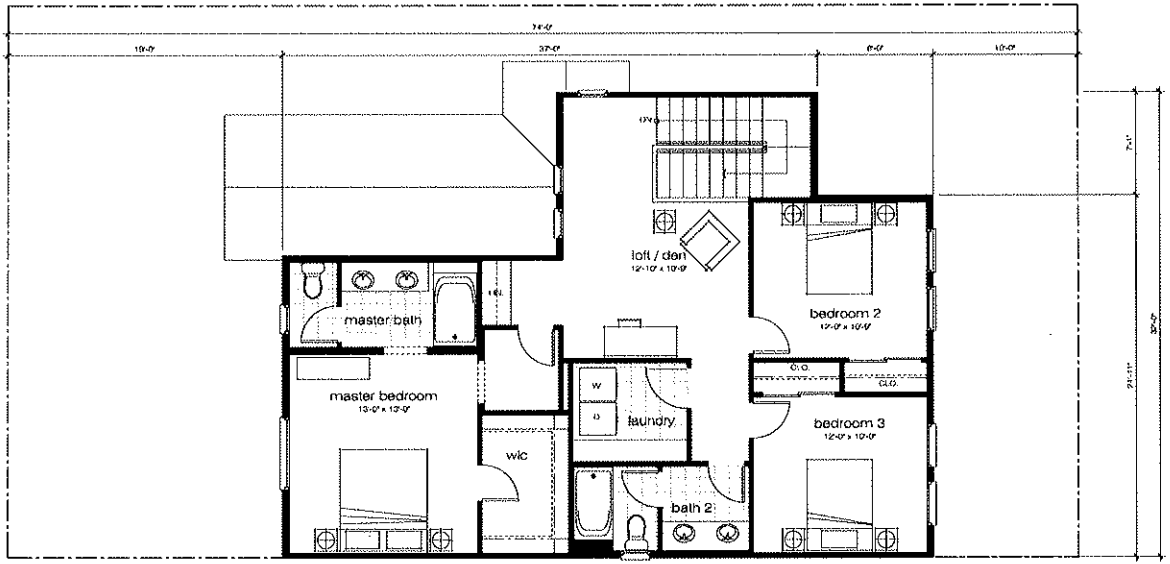
BUILDING ELEVATIONS  
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 CITRUS PARK  
 626-700 EUGENIUM STREET, FULLERTON, CALIFORNIA  
 DEVELOPERS  
 Watt Communities



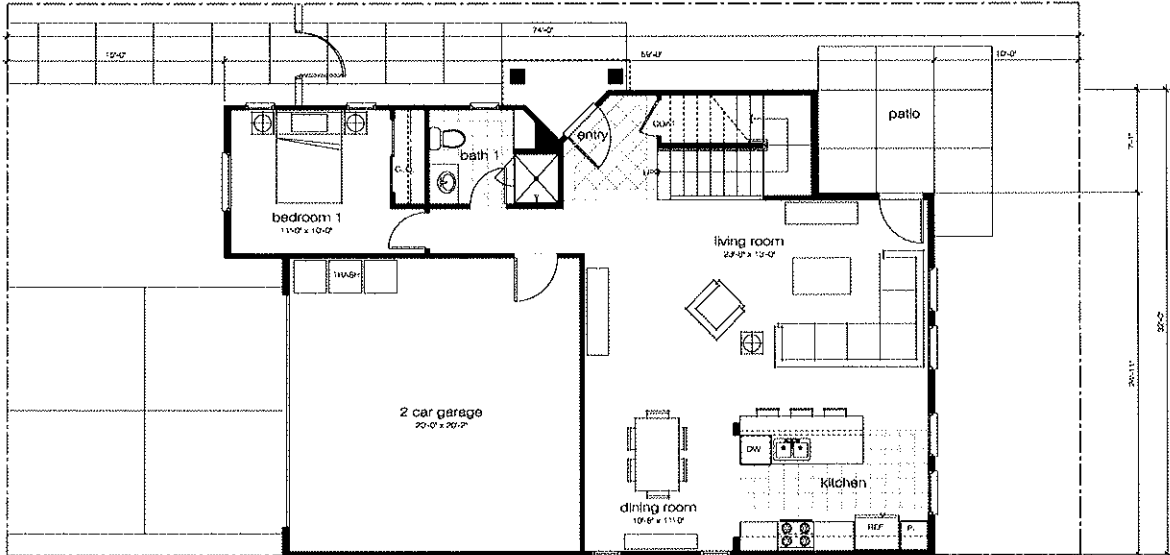
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 scale: 1/4" = 1'-0"





SECOND FLOOR



FIRST FLOOR

**PLAN 2 - SINGLE FAMILY**

FIRST FLOOR - 977 sf  
 SECOND FLOOR - 1,083 sf  
 TOTAL SF - 2,060 sf

**CITRUS PARK**  
 825-700 FUCHS RD STREET, FULLERTON, CALIFORNIA  
 DEVELOPERS  
 Watt Communities

**WMA** Withee Malcolm Architects, LLP  
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 Torrance, CA 90504  
 Tel: (310) 217-0635  
 Fax: (310) 217-0425

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